



ACTIVITY DETERMINATION

Project No. BGWVA

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the A/Head of Housing Portfolio, Homes NSW.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform A/Head of Housing Portfolio, Homes NSW as soon as I become aware of a possible conflict of interest.

Signed.....

Dated. **03.06.24**.....

Yolanda Gil
Acting Executive Director, Portfolio Strategy and Origination
Housing Portfolio
Homes NSW

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

1-7

Street or property name

Ferguson Avenue

Suburb, town or locality

Fairfield

Postcode

2165

Local Government Area(s)

Fairfield

Real property description (Lot and DP)

Lot 14, 15, 17 & 17 DP 35636

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

ACTIVITY DESCRIPTION

Provide a description of the activity:

- Removal of identified trees and vegetation.
- Construction of 12 seniors housing units comprising 6 x 1 bedroom and 6 x 2 bedroom units.
- Associated landscaping and servicing works.
- Surface parking for 6 cars including 2 carports.
- Consolidation of 4 lots into 1 single lot.

Signed.....

Dated.....03.06.24

Yolanda Gil
Acting Executive Director, Portfolio Strategy and Origination
Housing Portfolio
Homes NSW

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following Identified Requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Architectural – Appendix A				
Cover Page	DA-000	Rev A	1/11/2023	Kennedy Associated Architects
Block Analysis Plan	DA-001	Rev A	1/11/2023	Kennedy Associated Architects
Site Analysis Plan – Part 01	DA-100	Rev A	1/11/2023	Kennedy Associated Architects
Site Analysis Plan – Part 02	DA-101	Rev A	1/11/2023	Kennedy Associated Architects

Activity Determination
1-7 Fergerson Avenue, Fairfield

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Demolition Plan – Part 01	DA-102	Rev A	1/11/2023	Kennedy Associated Architects
Demolition Plan – Part 02	DA-103	Rev A	1/11/2023	Kennedy Associated Architects
Site Plan – Part 01	DA-104	Rev B	6/03/2024	Kennedy Associated Architects
Site Plan – Part 02	DA-105	Rev B	6/03/2024	Kennedy Associated Architects
Lot Consolidation Plan – Part 1	DA-106	Rev A	1/11/2023	Kennedy Associated Architects
Lot Consolidation Plan – Part 2	DA-107	Rev A	1/11/2023	Kennedy Associated Architects
General Arrangement – External Works – Part 01	DA-201	Rev C	5/03/2024	Kennedy Associated Architects
General Arrangement – External Works – Part 02	DA-202	Rev C	6/03/2024	Kennedy Associated Architects
General Arrangement – Ground Floor – Part 01	DA-203	Rev B	6/03/2024	Kennedy Associated Architects
General Arrangement – Ground Floor – Part 02	DA-204	Rev B	6/03/2024	Kennedy Associated Architects
General Arrangement – Access Plan L00 – Part 01	DA-205	Rev B	6/03/2024	Kennedy Associated Architects
General Arrangement – Access Plan L00 – Part 02	DA-206	Rev B	6/03/2024	Kennedy Associated Architects
General Arrangement –First Floor – Part 01	DA-207	Rev A	1/11/2023	Kennedy Associated Architects
General Arrangement –First Floor – Part 02	DA-208	Rev B	5/02/2024	Kennedy Associated Architects
General Arrangement – Roof – Part 01	DA-209	Rev A	1/11/2023	Kennedy Associated Architects
General Arrangement – Roof – Part 02	DA-210	Rev A	1/11/2023	Kennedy Associated Architects
Cut, Fill, Retaining Wall Plan – Part 01	DA-211	Rev A	1/11/2023	Kennedy Associated Architects
Cut, Fill, Retaining Wall Plan – Part 02	DA-212	Rev A	1/11/2023	Kennedy Associated Architects
Area Counts – Sheet 01	DA-213	Rev B	5/02/2024	Kennedy Associated Architects
Area Counts – Sheet 02	DA-214	Rev B	5/02/2024	Kennedy Associated Architects
Solar Access Study Sheet 01	DA-215	Rev A	2/11/2023	Kennedy Associated Architects
Solar Access Study Sheet 02	DA-216	Rev A	2/11/2023	Kennedy Associated Architects
Shadow Diagrams – Winter Solstice 01	DA-217	Rev A	2/11/2023	Kennedy Associated Architects
Shadow Diagrams – Winter Solstice 02	DA-218	Rev A	2/11/2023	Kennedy Associated Architects
Elevation Sheet 01	DA-301	Rev A	2/11/2023	Kennedy Associated Architects
Elevation Sheet 02	DA-302	Rev A	2/11/2023	Kennedy Associated Architects
Elevation Sheet 03	DA-303	Rev A	2/11/2023	Kennedy Associated Architects
Elevation Sheet 04	DA-304	Rev B	5/02/2024	Kennedy Associated Architects
Elevation Sheet 05	DA-305	Rev A	2/11/2023	Kennedy Associated Architects
Section Sheet 01	DA-401	Rev A	2/11/2023	Kennedy Associated Architects
Section Sheet 02	DA-402	Rev A	2/11/2023	Kennedy Associated Architects
Section Sheet 03	DA-403	Rev A	2/11/2023	Kennedy Associated Architects
Axonometric Views	DA-501	Rev B	15/02/2024	Kennedy Associated Architects
Axonometric Views Height Plane	DA-502	Rev A	2/11/2023	Kennedy Associated Architects
Landscape Plan – Appendix B				
Cover Sheet	LA-100	Rev C	7/03/2024	Studio IZ

Activity Determination
1-7 Fergerson Avenue, Fairfield

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Legend, General Note and Planting Schedule	LA-101	Rev C	7/03/2024	Studio IZ
Existing Trees Plan	LA-200	Rev C	7/03/2024	Studio IZ
General Arrangement Plan – Sheet 1	LA-301	Rev C	7/03/2024	Studio IZ
General Arrangement Plan – Sheet 2	LA-302	Rev C	7/03/2024	Studio IZ
Planting Plan – Sheet 1	LA-401	Rev C	7/03/2024	Studio IZ
Planting Plan – Sheet 2	LA-402	Rev C	7/03/2024	Studio IZ
Typical Details	LA-600	Rev C	7/03/2024	Studio IZ
Specification Notes	LA-700	Rev C	7/03/2024	Studio IZ
Civil Plans – Appendix C				
Location Plan and Drawing Schedule	001	Rev D	7/03/2024	Tonkin
General Arrangement Plan	005	Rev D	7/03/2024	Tonkin
Erosion & Sediment Control Plan	101	Rev D	7/03/2024	Tonkin
Erosion & Sediment Control Details	111	Rev D	7/03/2024	Tonkin
Cut & Fill Plan	200	Rev D	7/03/2024	Tonkin
Stormwater Management Plan 1 of 2	301	Rev G	7/03/2024	Tonkin
Stormwater Management Plan 2 of 2	302	Rev G	7/03/2024	Tonkin
Stormwater Longitudinal Sections	310	Rev C	7/03/2024	Tonkin
Siteworks Plan 1 of 2	401	Rev D	7/03/2024	Tonkin
Siteworks Plan 2 of 2	402	Rev D	7/03/2024	Tonkin
Typical Details Sheet 1 of 2	601	Rev D	7/03/2024	Tonkin
Typical Details Sheet 2 of 2	602	Rev D	7/03/2024	Tonkin
Site Frontage Works Plan 1 of 2	S403	Rev A	7/03/2024	Tonkin
Site Frontage Works Plan 2 of 2	S404	Rev A	7/03/2024	Tonkin
Survey Plans – Appendix D				
Detail & Contour Survey	Sheet 1 of 4	Issue 1	2/07/2020	Total Surveying Solutions
Detail & Contour Survey	Sheet 2 of 4	Issue 1	2/07/2020	Total Surveying Solutions
Detail & Contour Survey	Sheet 3 of 4	Issue 1	2/07/2020	Total Surveying Solutions
Detail & Contour Survey	Sheet 4 of 4	Issue 1	2/07/2020	Total Surveying Solutions
Notification Plans – Appendix E				
Cover Page	N01	Rev A	1/11/2023	Kennedy Associated Architects
Street Perspective	N02	Rev A	1/11/2023	Kennedy Associated Architects
Site / Landscape Plan Part 01	N03	Rev A	1/11/2023	Kennedy Associated Architects
Site / Landscape Plan Part 02	N04	Rev A	1/11/2023	Kennedy Associated Architects
Development Data	N05	Rev A	1/11/2023	Kennedy Associated Architects
Elevations 01	N06	Rev A	2/11/2023	Kennedy Associated Architects
Elevations 02	N07	Rev A	2/11/2023	Kennedy Associated Architects
Schedule of Finishes	N08	Rev A	2/11/2023	Kennedy Associated Architects
Shadow Diagrams	N09	Rev A	2/11/2023	Kennedy Associated Architects
Access Report – Appendix H				
Part 5 Application Access Report	-	Rev 2	28/10/2023	MGAC

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
AHIMS Web Search – Appendix I				
AHIMS search	-	-	30/01/2024	-
Arborist's Report – Appendix J				
Arborist's Impact Assessment and Tree Management Plan	Ref 5836.3	Rev 3	2/11/2023	RedGum Horticultural
BASIX – Appendix K				
BASIX Certificate	Cert No. 1373594M_04	-	25/10/2023	Elias Aboutannous
BCA report – Appendix L				
BCA Compliance Assessment	P210172	Rev 1	6/07/2023	BCA Vision
NatHERS Certificate – Appendix N				
Nationwide house energy rating scheme – Unit 1	No. C38S8J0WB4-03	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 2	No. 0ES2MILRD8-03	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 3	No. QEAZIBL2GU-03	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 4	No. 3ECC8990BW-03	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 5	No. SHFLDDYG8B-02	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 6	No. ZEA4JPEHA0-03	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 7	No. CF87Y2KHSU-03	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 8	No. JVLAOG88EX-03	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 9	No. Z9HNIOCENK-03	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 10	No. X4HA0F5X4Z-06	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 11	No. 1SU191JOFP-02	-	19/02/2024	eCerts Australia
Nationwide house energy rating scheme – Unit 12	No. BBLYSC23KO-03	-	19/02/2024	eCerts Australia
Geotechnical Investigation Assessment - Appendix P				
Geotechnical Investigation	No. 20/1821	-	June 2020	STS Geotechnics Pty Ltd
Waste Management Plan – Appendix R				
Waste Management Plan	No. 2260	-	November 2023	Kennedy Associate Architects
Heritage Report – Appendix S				
Statement of Heritage Impact	-	-	10/07/2023	GBA Heritage
Traffic and Parking Impact Assessment - Appendix T				
Traffic and Parking Impact Assessment	21094	Issue D	October 2023	Transport and Traffic Planning Associates

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Acoustic Report – Appendix U				
DA Acoustic Assessment	20231138.1/2011 A/R0/RL	0	20/11/2023	Acoustic Logic

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Fairfield City Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. Concrete vehicular crossings and laybacks shall be provided at the entrances / exits to the property. The crossings and laybacks shall be constructed in accordance with Fairfield City Council's standard requirements for residential crossings. Council shall be provided with plans for the crossings and laybacks together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the laybacks / driveways shall be borne by

the Land & Housing Corporation. Obsolete gutter laybacks shall be constructed as kerb in accordance with Fairfield City Council's standards.

Note:

It is recommended that discussion be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveways shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of site preparation / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
 - i. be connected to a permanent 240V power supply; and
 - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. Fairfield City Council shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arboricultural Impact Assessment and Tree Management Plan report and no other trees shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.
22. The proposed fence surrounding the landscaped open space located along the front boundary to the side of Unit 6, is to be replaced by fence type F1 to a height of 1.2m, to be consistent with front fencing along the remainder of the site.

Provision of Letterbox Facilities

23. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

Public Liability Insurance

24. A valid public liability insurance policy of at least \$10M shall be maintained throughout the site preparation / construction works by the contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including site preparation.

Disconnection of Services

25. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the site preparation / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
26. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Prior to Commencement

27. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of 5 working days prior to commencement of work. Such notification shall be clearly written on an A4 size paper giving the date work will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The works shall not commence prior to the date that is stated in the notice letter.
28. Prior to the commencement of work, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of works, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.

Utilities Service Provider Notification

29. The construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

30. Fairfield City Council shall be advised in writing, of the date it is intended to commence work, including site preparation. A minimum period of 5 working days notification shall be given.

Site Safety

31. A sign shall be erected in a prominent position on any site on which building works or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to site preparation / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when site preparation / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

33. No building or other materials are to be stored on the footpath or roadway.

Site Facilities

34. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Fairfield City Council or if this is not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.
35. Access to the site shall only be provided via an all-weather driveway on the property and is not to be provided from any other site.

Protection of Trees

36. Trees and other vegetation that are to be retained on site shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the arborist report.

Waste Management

37. A final Waste Management Plan shall be prepared and submitted to the Land & Housing Corporation by the building contractor prior to the commencement of site preparation / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site.

Service Authority Clearances

38. A compliance certificate, or other evidence, shall be obtained from Sydney Water confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

39. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
40. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

Stormwater Disposal

42. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (e.g. the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Fairfield City Council's drainage code.
43. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land & Housing Corporation.
44. Public domain works including a stormwater pipe extension is required to connect to existing stormwater infrastructure in The Horsley Drive, subject to approval from Transport for NSW (TfNSW) under Section 138 to the Roads Act, 1993.

DURING CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst site preparation and construction works are occurring on the site.

Landfill

45. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
46. Land fill materials must satisfy the following requirements:
 - i. be Virgin Excavated Natural Matter (VENM);
 - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. be free of industrial waste and building debris.

Heritage

47. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical or

indigenous items have been uncovered, the Department of Climate Change, Energy, the Environment and Water must be contacted.

48. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Department of Climate Change, Energy, the Environment and Water.

Site Preparation

49. Hazardous or intractable wastes, including all asbestos laden waste, arising from the site preparation process shall be removed and disposed of in accordance with the requirements of SafeWork NSW.
50. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
51. Site preparation procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
52. During site preparation, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
53. All vehicles leaving the site with materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

54. Survey reports shall be submitted by the building contractor to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Site Preparation / Construction / Civil Work

55. Site Preparation / construction / civil work shall only occur on the site between the hours of 7am to 5pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

56. All excavations and backfilling associated with the site preparation or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

- 57. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
- 58. No fires shall be lit or waste materials burnt on the site.
- 59. No washing of concrete forms or trucks shall occur on the site.
- 60. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
- 61. Dust generation during site preparation / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
- 62. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
- 63. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

- 64. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
- 65. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to site preparation / construction works, damage is caused to such adjoining property.

Termite Protection

- 66. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection.
- (b) the date of installation of the system.
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label.
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

67. The use or occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

Council Infrastructure Damage

68. The cost of repairing any damage caused to Fairfield City Council's assets in the vicinity of the site as a result of site preparation / construction works shall be met in full by the building contractor.

Stormwater Drainage

69. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:

- sufficient levels and dimensions to verify the constructed storage volumes; and
- location and surface levels of all pits; and
- invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
- finished floor levels of all structures; and
- verification that any required trash screens have been installed; and
- locations and levels of any overland flow paths; and
- verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Fairfield City Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the Land & Housing Corporation and Fairfield City Council.

PART B – Additional Identified Requirements

Specific Requirements for Seniors Housing

70. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of *State Environmental Planning Policy (Housing) 2021* (as made immediately prior to the making of *State Environmental Planning Policy Amendment (Housing) 2023*).

Note:

This requirement does not apply to the provisions set out under sections 2, 7-13 and 15-20 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.

71. Only the following kinds of people shall be accommodated in the approved development:
- (a) seniors or people who have a disability; or
 - (b) people who live within the same household with seniors or people who have a disability; or
 - (c) staff employed to assist in the administration and provision of services to the seniors housing development.

Note:

It should be noted that 'seniors', as defined in the Housing SEPP, are any of the following:

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

72. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
73. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.
74. Entry doors to units shall to be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

Site Specific Requirements

75. Pathway and road reserve upgrading identified in the Access Report is to be undertaken in collaboration with Fairfield City Council and the relevant road authority (if not Fairfield City Council) to provide a continuous accessible path of travel between the site and the nearest bus stops.

Note:

The responsible officer at the Fairfield City Council shall be contacted regarding council's specifications and any necessary approvals.

76. During construction, downpipes conveying roof water from the subject development are to be connected to underground rainwater tank / underground detention tank as required, in accordance with the approved concept stormwater drainage plans.
77. The development must be designed such that the internal noise level criteria is as follows in accordance with the Acoustic Assessment Report prepared by Acoustic Logic:
- (a) Bedroom - 35 dB LAeq,9hrs
 - (b) Living room - 40 dB LAeq,15hrs

78. Air conditioning

Design and Installation

Any air conditioning unit installed on the premises must be designed, specified and installed to ensure that they comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary. Acoustic treatment may be required to ensure this is achieved.

Certification, from an appropriately qualified acoustic consultant, shall be provided at construction documentation stage that the air conditioning units can comply with this requirement.

Further certification, from an appropriately qualified acoustic consultant, shall be provided prior to occupation that the installed air conditioning units comply with this requirement.

On-Going

The use of any air-conditioning unit must comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not:

- (a) emit a noise that is audible within a habitable room in any adjoining residence (regardless of whether any door or window to that room is open);
 - (i) before 8.00 am and after 10.00 pm on any Saturday, Sunday or Public Holiday; or
 - (ii) before 7.00 am or after 10.00 pm on any other day;
- (b) emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary.

79. Solar (photovoltaic electricity generating) energy system

Where a solar energy system is proposed it must satisfy the following requirements:

- the system is installed in accordance with the manufacturer's specifications or by a person who is accredited by the Clean Energy Council for the installation of photovoltaic electricity generating systems, and
- the solar energy system must not reduce the structural integrity of any building to which the system is attached, and
- the system must not involve mirrors or lenses to reflect or concentrate sunlight, and
- the system must not protrude more than 0.5m from the wall or roof (as measured from the point of attachment), and
- the system is installed no less than 0.9m from any adjoining property boundary.

Where a solar energy system is proposed it must demonstrate compliance with the above requirements at Crown Certification stage.

80. Updated BASIX Certificate

An updated BASIX Certificate prepared by an appropriately qualified person is to be provided at construction documentation stage detailing the inclusion of air conditioning and solar (photovoltaic energy generating) energy system.

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.

DECISION STATEMENT

Project No. BGWVA

SITE IDENTIFICATION	
STREET ADDRESS	
Unit/Street No	Street or property name
1-7	Ferguson Avenue
Suburb, town or locality	Postcode
Fairfield	2165
Local Government Area(s)	Real property description (Lot and DP)
Fairfield	Lots 14, 15, 16 & 17 in Deposited Plan 35636
ACTIVITY DESCRIPTION	
Provide a description of the activity	
Removal of trees, and the construction of 12 independent living seniors housing units comprising 6 x 1 bedroom and 6 x 2 bedroom units, with associated landscaping and fencing, surface parking for 6 cars, and consolidation into a single lot.	

NSW Land & Housing Corporation has proposed the above activity under the provisions of *State Environmental Planning Policy (Housing) 2021* (Housing SEPP) which requires determination under Part 5 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). This Decision Statement relates to the Review of Environmental Factors (REF) for the above activity prepared under Part 5 of the EP&A Act and the *Environmental Planning and Assessment Regulation 2021*.

Based on the REF document and supporting documentation, including advice from Fairfield City Council, a decision to proceed with the proposed activity has been made. This decision included consideration of the following:

Significant Impact on the Environment

- The proposed activity is not likely to have a significant impact on the environment and therefore an EIS is not required.
- The proposed activity will not be carried out in a declared area of outstanding biodiversity value and is not likely to significantly affect threatened species, populations or ecological communities, or their habitats or impact biodiversity values, meaning a SIS and/or BDAR is not required.


Reasons for the Decision

- Following an assessment of the proposed activity and associated environmental impacts within the REF document it was decided that the proposed development will have economic and social benefits and any minor short-term impacts on the environment or surrounding properties can be appropriately mitigated.

- The proposed development will assist in the provision of much needed social and affordable housing and assist in addressing the existing and growing demand for housing in the local government area.

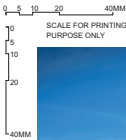
Mitigation Measures

- Mitigation measures are required to minimise or manage environmental impacts and are detailed throughout the REF and specifically within Section 8. All mitigation measures are detailed as Identified Requirements within the Activity Determination. Additional mitigation measures, detailed in the Activity Determination have been imposed to minimise the impact on the surrounding environment, ensure appropriate site safety and to ensure legislative compliance.


Signed.....

03.06.24
Dated.....

Yolanda Gil
Acting Executive Director
Portfolio Strategy and Origination
Housing Portfolio
Homes NSW



FERGERSON AVENUE - STREET PERSPECTIVE - BLOCK A-B



SUBJECT SITE
1-7 ferguson avenue,
FAIRFIELD

LOCATION PLAN scale 1:2000

DETAIL NOTES

- These details do not provide a full and comprehensive set of details for the whole project.
- These details demonstrate the anticipated level of detail for the project and the types of trims and junctions that are proposed, including the requirement for flush finishing door sills.
- The contractor is to allow for achieving the same level of detail for details currently not shown.
- The architect may provide additional details as and when they are required to clarify expectations. Details provided in response to requests for information (r.i.'s) are provided to assist the builder in finishing the project in a manner consistent with the details shown at tender.
- The contractor is to allow for trims, seals and finishing without unsightly gaps throughout the project that are consistent with the contract documents. The absence of a particular detail at the time of tender is not in and of itself evidence that a trim or form of finishing could not have been anticipated. The owner is entitled to anticipate that the tender price allows for finishing the project in a satisfactory manner consistent with the documents issued for tender.
- Drawings to be printed at A1 and viewed in colour.

NATHERS CONSTRUCTION & INSULATION SPECIFICATIONS

FLOOR SLAB

- Ground Floors: FR5 - CSOG: Slob on ground
- First Floors: FR5 - 300mm concrete slab.

EXTERIOR WALLS

- Cavity brick: R1.0
- Modelled with light colour finishes, as per plans.

GLAZING

Al. Single glazed - Clear:

- ALL UNITS (U01-U12)
- Type A (U-Value: 6.7, SHGC: 0.57).
- Type B (U-Value: 6.7, SHGC: 0.7).

U-Value & SHGC are combined glass and frame figures.

CEILING

- All units: 1x1200mm ceiling fan to living/kitchen area and Bed1.
- R1 Soaling insulation to all ceilings to roofs for Units 07.
- R3.5 ceiling insulation to all ceilings to roofs for Units 08, 09,10,11&12.
- Modelled with sealed: LED downlights & wet area exhaust fans.

ROOFS

- Unit 07 - Metal roof with R3.5 rated product, modelled with **medium** colour finishes, and as unventilated.
- Unit 08 - 12 - Metal roof with R1.3 rated product, modelled with **medium** colour finishes, and as unventilated.

* Please refer to NATHERS individual certificate for further details.

NATHERS ENERGY RATING												
UNIT	1	2	3	4	5	6	7	8	9	10	11	12
HEAT	24.1	34.8	35.5	35.5	39	35.8	35	28.8	24.4	32.1	32.2	35.1
COOL	2.4	1.1	1.6	3.1	2.2	1.4	13.4	7.5	7.6	9	7.9	8
STARS	6.8	8.3	8.4	8.1	7.9	8.2	7.6	8.3	8.5	7.9	8.1	7.9

BASIX COMMITMENTS

CENTRAL SYSTEMS

- No common facilities
- Central water tank rainwater or stormwater
- 4 x 2000L Total 8000L

NATURAL LIGHTING

- All dwellings : No. of Bathroom or toilet 1 / Main kitchen yes

ALTERNATIVE ENERGY

- central supply for all Dwellings - 5.5KW Photovoltaic System

INDIGENOUS AND LOW WATER USE SPECIES

- Common area: 267 m²
- Common area garden: 200 m²
- Area of indigenous or low water use species: 50 m²

HOT WATER SYSTEM

- All Dwellings - electric heat pump - air sourced 31-35 STCs

FIXURES

- All dwellings
- All shower heads - 4 Star (> 4.5 but <= 6L/min)
- All toilet flushing systems 4 star
- All kitchen taps 3 star
- All bathroom taps 3 star
- HW recirculation or diversion no
- All clothes washers 3 star
- All dishwashers 3 star

APPLIANCES

- All dwellings
- Electric cooktop & electric oven
- Well ventilated fridge space
- Indoor or sheltered clothes drying line

DRAWING LIST

DRAWING NO.

- DA-000 COVER PAGE
- DA-001 BLOCK ANALYSIS PLAN
- DA-100 SITE ANALYSIS PLAN - PART 01
- DA-101 SITE ANALYSIS PLAN - PART 02
- DA-102 DEMOLITION PLAN - PART 01
- DA-103 DEMOLITION PLAN - PART 02
- DA-104 SITE PLAN - PART 01
- DA-105 SITE PLAN - PART 02
- DA-106 LOT CONSOLIDATION PLAN - PART 01
- DA-107 LOT CONSOLIDATION PLAN - PART 02
- DA-201 GENERAL ARRANGEMENT - EXTERNAL WORKS - PART 01
- DA-202 GENERAL ARRANGEMENT - EXTERNAL WORKS - PART 02
- DA-203 GENERAL ARRANGEMENT - GROUND FLOOR - PART 01
- DA-204 GENERAL ARRANGEMENT - GROUND FLOOR - PART 02
- DA-205 GENERAL ARRANGEMENT - ACCESS PLAN L00 - PART 1
- DA-206 GENERAL ARRANGEMENT - ACCESS PLAN L00 - PART 2
- DA-207 GENERAL ARRANGEMENT - FIRST FLOOR - PART 01
- DA-208 GENERAL ARRANGEMENT - FIRST FLOOR - PART 02
- DA-209 GENERAL ARRANGEMENT - ROOF - PART 01
- DA-210 GENERAL ARRANGEMENT - ROOF - PART 02
- DA-211 CUT & FILL & RETAINING WALL PLAN - PART 01
- DA-212 CUT & FILL & RETAINING WALL PLAN - PART 02
- DA-213 AREA COUNTS - SHEET 01
- DA-214 AREA COUNTS - SHEET 02
- DA-215 SOLAR ACCESS STUDY SHEET 01
- DA-216 SOLAR ACCESS STUDY SHEET 02
- DA-217 SHADOW DIAGRAMS - WINTER SOLSTICE 1
- DA-218 SHADOW DIAGRAMS - WINTER SOLSTICE 2
- DA-301 ELEVATIONS 01
- DA-302 ELEVATIONS 02
- DA-303 ELEVATIONS 03
- DA-304 ELEVATIONS 04
- DA-305 ELEVATIONS 05
- DA-401 SECTION 01
- DA-402 SECTION 02
- DA-403 SECTION 03
- DA-404 SECTION 04
- DA-405 SECTION 05
- DA-501 3D VIEWS
- DA-502 3D VIEWS HEIGHT PLANE
- N01 NOTIFICATION - COVER SHEET
- N02 NOTIFICATION - STREET PERSPECTIVE
- N03 NOTIFICATION - SITE/LANDSCAPE PLAN - PART 01
- N04 NOTIFICATION - SITE/LANDSCAPE PLAN - PART 02
- N05 NOTIFICATION - DEVELOPMENT DATA
- N06 NOTIFICATION - ELEVATIONS
- N07 NOTIFICATION - ELEVATIONS
- N08 NOTIFICATION - SCHEDULE OF FINISHES
- N09 NOTIFICATION - SHADOW DIAGRAMS



LOCKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8008
www.facs.nsw.gov.au

NOMINATED ARCHITECT:
anthony nolan - 5628
steve kennedy
6773

21/11/23 PART 5 APPLICATION
REV DATE NOTATION/AMENDMENT

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

PROJECT ARCHITECT
KENNEDY ASSOCIATES ARCHITECTS
PO BOX 8887 6886

PROJECT MANAGER
LAND & HOUSING CORPORATION

STRUCTURAL & EYFORWATER CONSULTANT
TONKIN

02 9400 3307

SERVICES CONSULTANT
BUILDING SERVICES ENGINEERS
(BSE)
64 8607 6008

LANDSCAPE CONSULTANT
STUDIO IZ

02 8004 0946

PROJECT
SENIORS HOUSING
at
1-7 FERGERSON AVENUE FAIRFIELD

2272.8 sqm
Lots 14,15,16 & 17 in DP, 35636

TITLE:
COVER PAGE

FILE
2280 - 01 DA PLANS MASTER.vsw

STATUS
PART 5 APPLICATION

SCALE 1:2000 @A1@BGWVA

PROJECT NO. 2280

DATE SE

REV AN

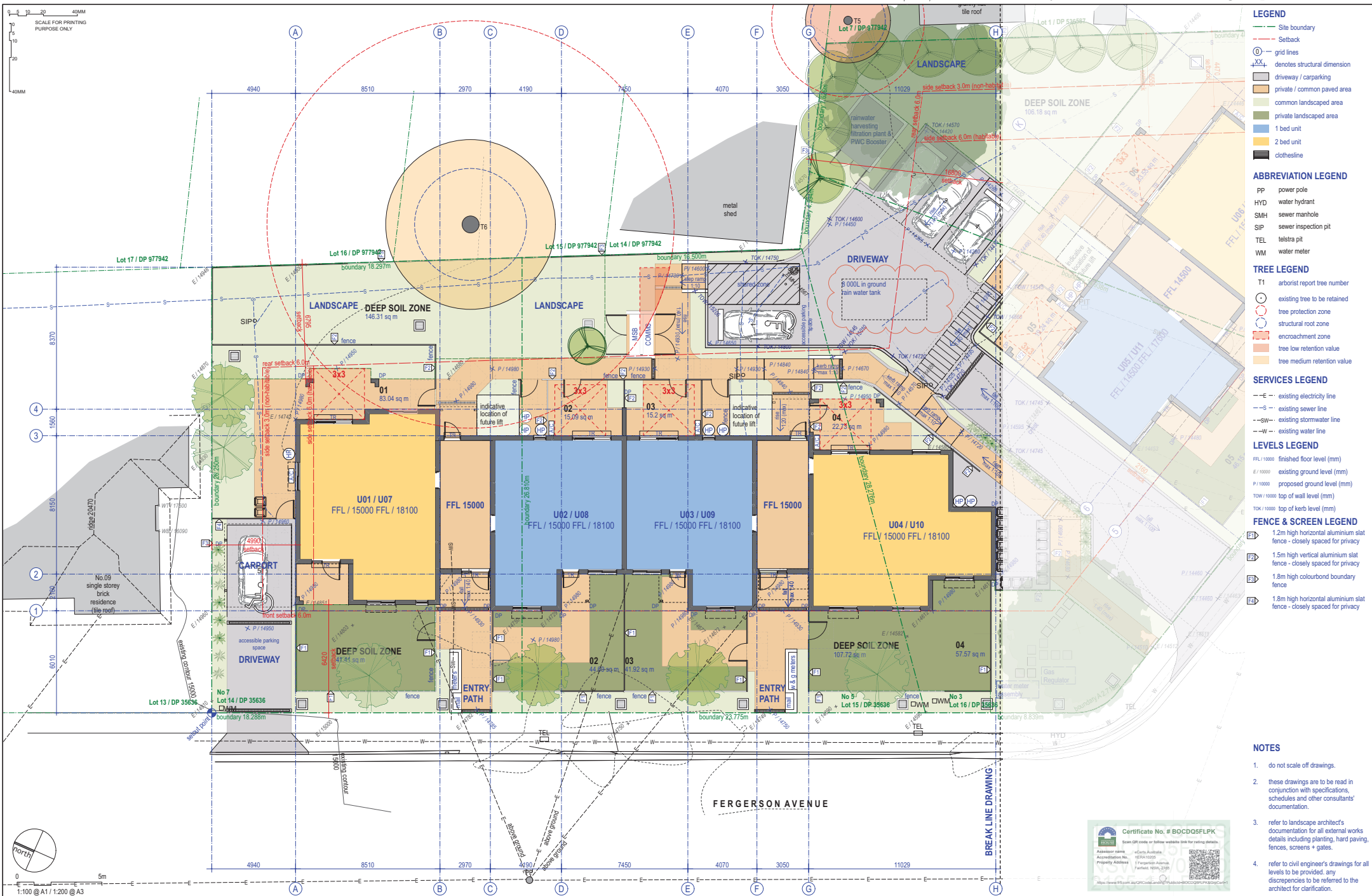
REV A











LEGEND

- Site boundary
- Setback
- grid lines
- denotes structural dimension
- driveway / carparking
- private / common paved area
- common landscaped area
- private landscaped area
- 1 bed unit
- 2 bed unit
- clothesline

ABBREVIATION LEGEND

- PP power pole
- HYD water hydrant
- SMH sewer manhole
- SIP sewer inspection pit
- TEL telstra pit
- WM water meter

TREE LEGEND

- T1 arborist report tree number
- existing tree to be retained
- tree protection zone
- structural root zone
- encroachment zone
- tree low retention value
- tree medium retention value

SERVICES LEGEND

- existing electricity line
- existing sewer line
- existing stormwater line
- existing water line

LEVELS LEGEND

- FFL / 10000 finished floor level (mm)
- E / 10000 existing ground level (mm)
- P / 10000 proposed ground level (mm)
- TOW / 10000 top of wall level (mm)
- TOK / 10000 top of kerb level (mm)

FENCE & SCREEN LEGEND

- 1.2m high horizontal aluminium slat fence - closely spaced for privacy
- 1.5m high vertical aluminium slat fence - closely spaced for privacy
- 1.8m high colourbond boundary fence
- 1.8m high horizontal aluminium slat fence - closely spaced for privacy

NOTES

- do not scale off drawings.
- these drawings are to be read in conjunction with specifications, schedules and other consultants' documentation.
- refer to landscape architect's documentation for all external works details including planting, hard paving, fences, screens + gates.
- refer to civil engineer's drawings for all levels to be provided, any discrepancies to be referred to the architect for clarification.



NOMINATED ARCHITECT:

anthony nolan - stone leach
6773

PROJECT ARCHITECT:

KENNEDY ASSOCIATES ARCHITECTS
PO BOX 8837 6886

PROJECT MANAGER:

LAND & HOUSING CORPORATION

ARCHITECT:

REDGUM HORTICULTURAL

SERVICES CONSULTANT:

BUILDING SERVICES ENGINEERS
(BSE)
PO BOX 8837 6886

PROJECT MANAGER:

STUDIO IZ
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

STRUCTURAL & STORMWATER CONSULTANT:

TOKIN
12 0460 3307

LANDSCAPE CONSULTANT:

DO NOT SCALE

PROJECT:

SENIORS HOUSING
at
1-7 Fergusson Avenue FAIRFIELD

DATE:

22/2.8.24

PROJECT:

Lots 14,15,16 & 17 in DP 35636

TITLE:

SITE PLAN - PART 01

SCALE:

1:100 @A1 1:200 @A3

FILE:

2360 - 01 DA PLANS MASTER.vws

PART 5 APPLICATION

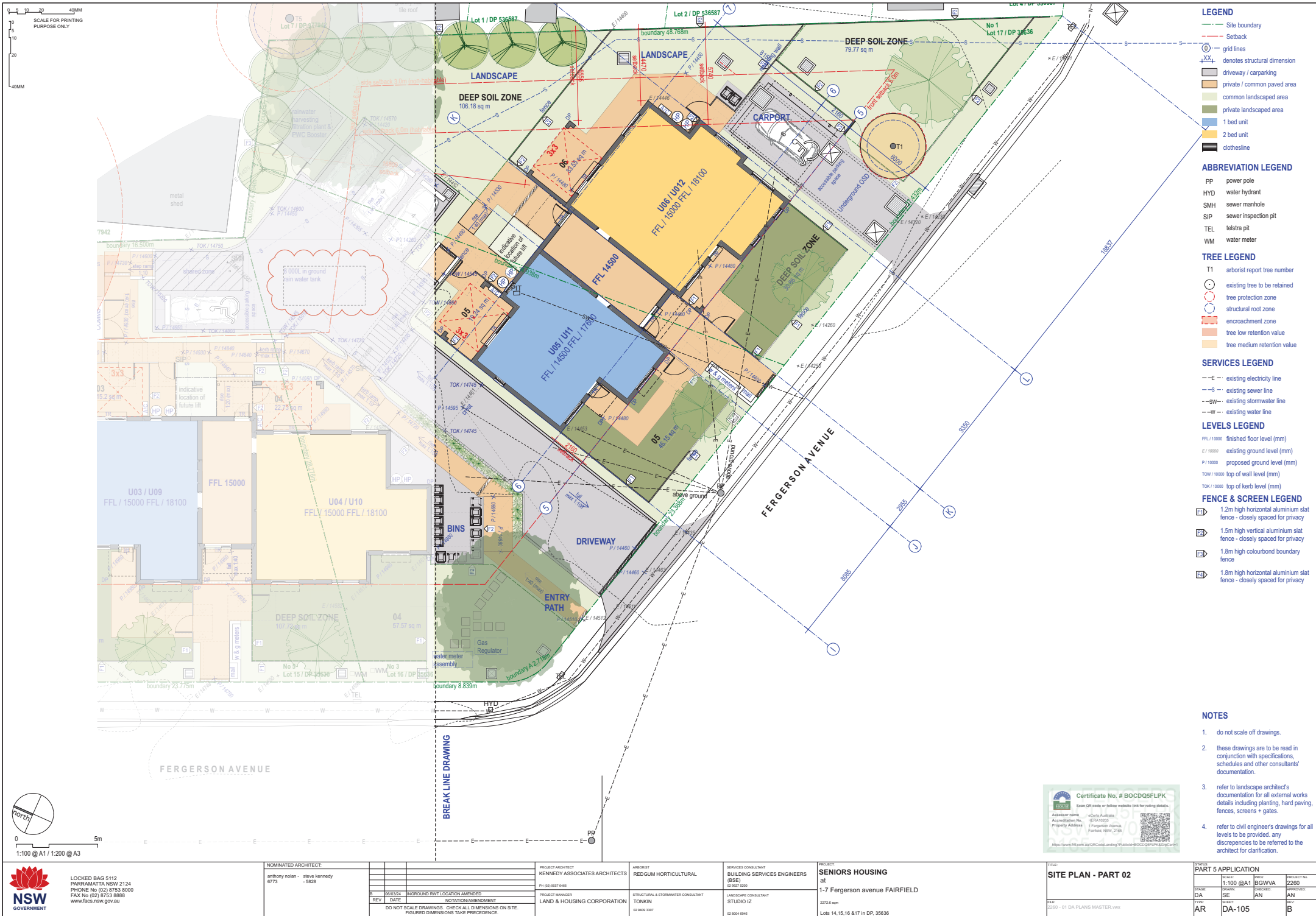
DATE: 1:100 @A1 BGWVA

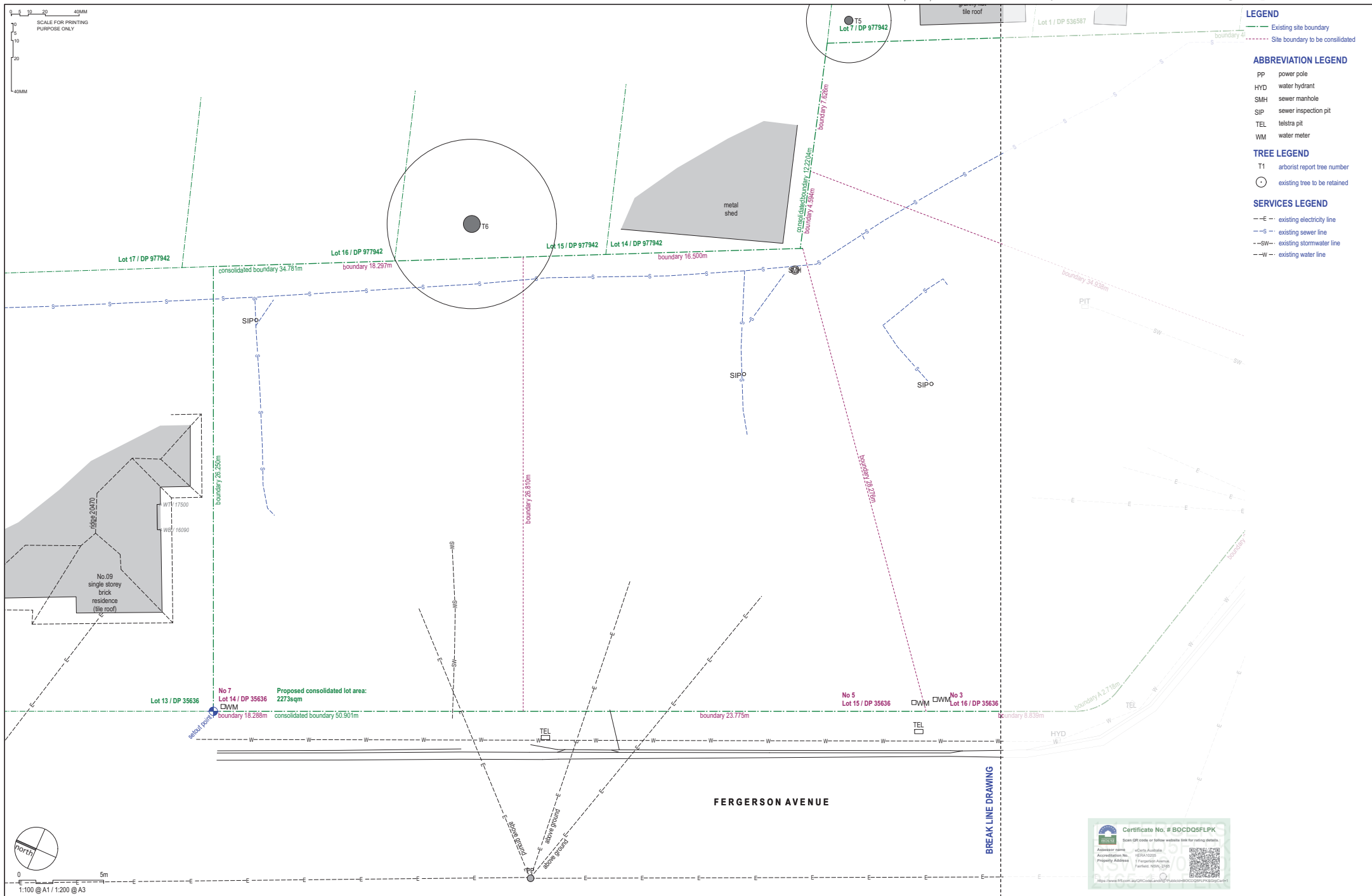
DATE: 22/2.8.24

DATE: 22/2.8.24

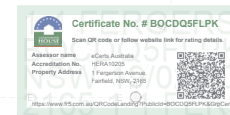
DATE: 22/2.8.24

DATE: 22/2.8.24





- LEGEND**
- Existing site boundary
 - Site boundary to be consolidated
- ABBREVIATION LEGEND**
- PP power pole
 - HYD water hydrant
 - SMH sewer manhole
 - SIP sewer inspection pit
 - TEL telstra pit
 - WM water meter
- TREE LEGEND**
- T1 arborist report tree number
 - existing tree to be retained
- SERVICES LEGEND**
- existing electricity line
 - existing sewer line
 - existing stormwater line
 - existing water line





LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:
anthony nolan - steve lacresny
6773 - 5828

A

5/11/23

PART 5 APPLICATION

REV

DATE

NOTATION/AMENDMENT

PROJECT ARCHITECT
KENNEDY ASSOCIATES ARCHITECTS
PO BOX 8888
SYDNEY NSW 1585

PROJECT MANAGER
LAND & HOUSING CORPORATION
TONKIN
02 9409 3307

ARCHITECT
REDGUM HORTICULTURAL

STRUCTURAL & STORMWATER CONSULTANT
TONKIN
02 9409 3307

SERVICES CONSULTANT
BUILDING SERVICES ENGINEERS (BSE)
02 8007 8008

LANDSCAPE CONSULTANT
STUDIO IZ
02 8004 8946

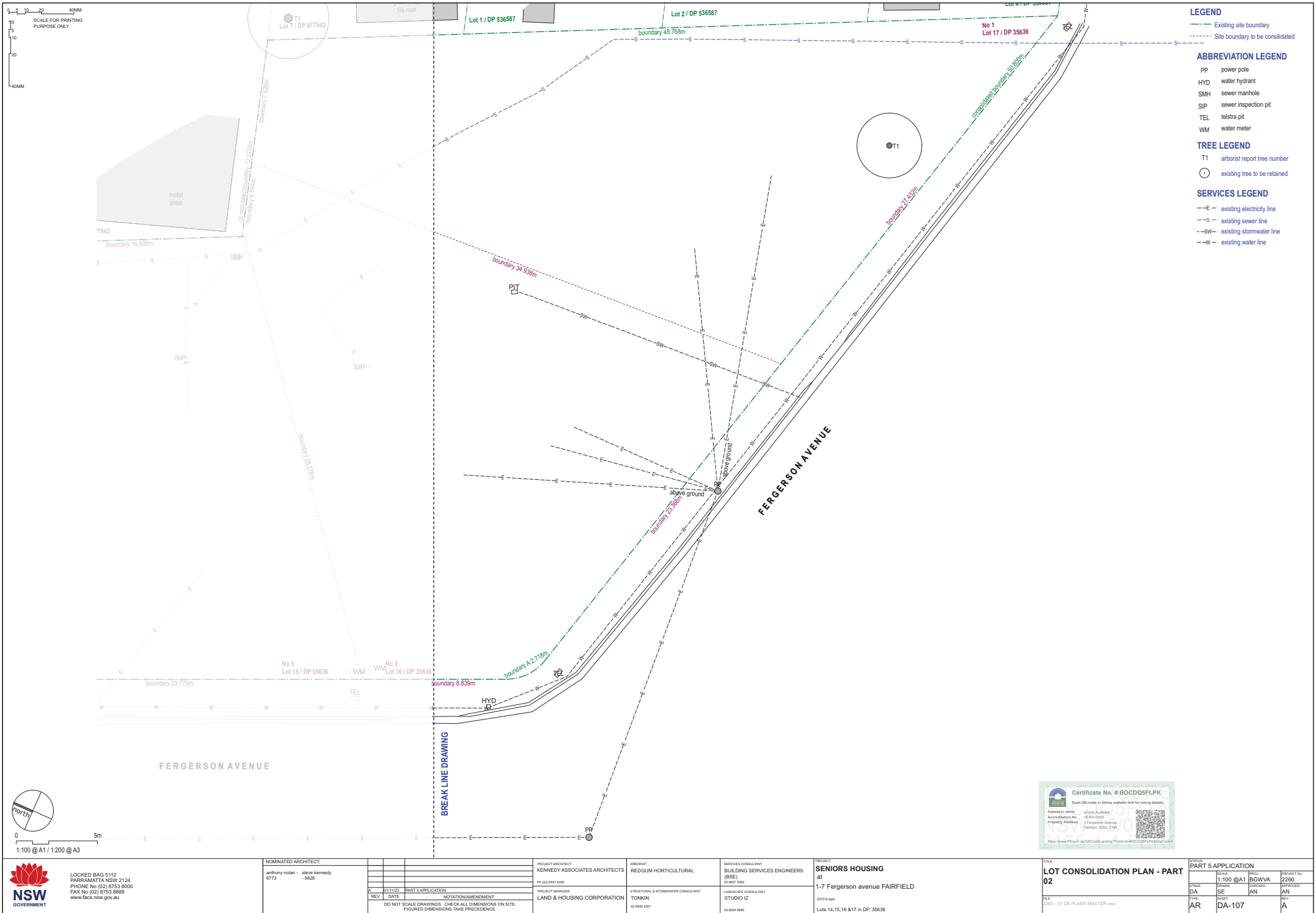
PROJECT
SENIORS HOUSING
at
1-7 Fergerson avenue FAIRFIELD
2273.8 sqm
Lots 14,15,16 & 17 in DP 35636

TITLE
LOT CONSOLIDATION PLAN - PART 01
FILE:
2280 - 01 DA PLANS MASTER.vsw

STATUS
PART 5 APPLICATION

PROJECT NO
2280

DATE	BY	REVISION	APPROVED
DA	SE	AN	AN
AR	DA-106	REV	A



LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:
anthony nolan - steve kennedy
6773

REV	DATE	NOTATION/AMENDMENT
A	21/11/23	PART 5 APPLICATION
DO NOT SCALE DRAWINGS - CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT ARCHITECT
KENNEDY ASSOCIATES ARCHITECTS
PR. 601 8007 6886
PROJECT MANAGER
LAND & HOUSING CORPORATION

ARCHITECT
REDGUM HORTICULTURAL
STRUCTURAL & STORMWATER CONSULTANT
TONKIN
02 9409 3307

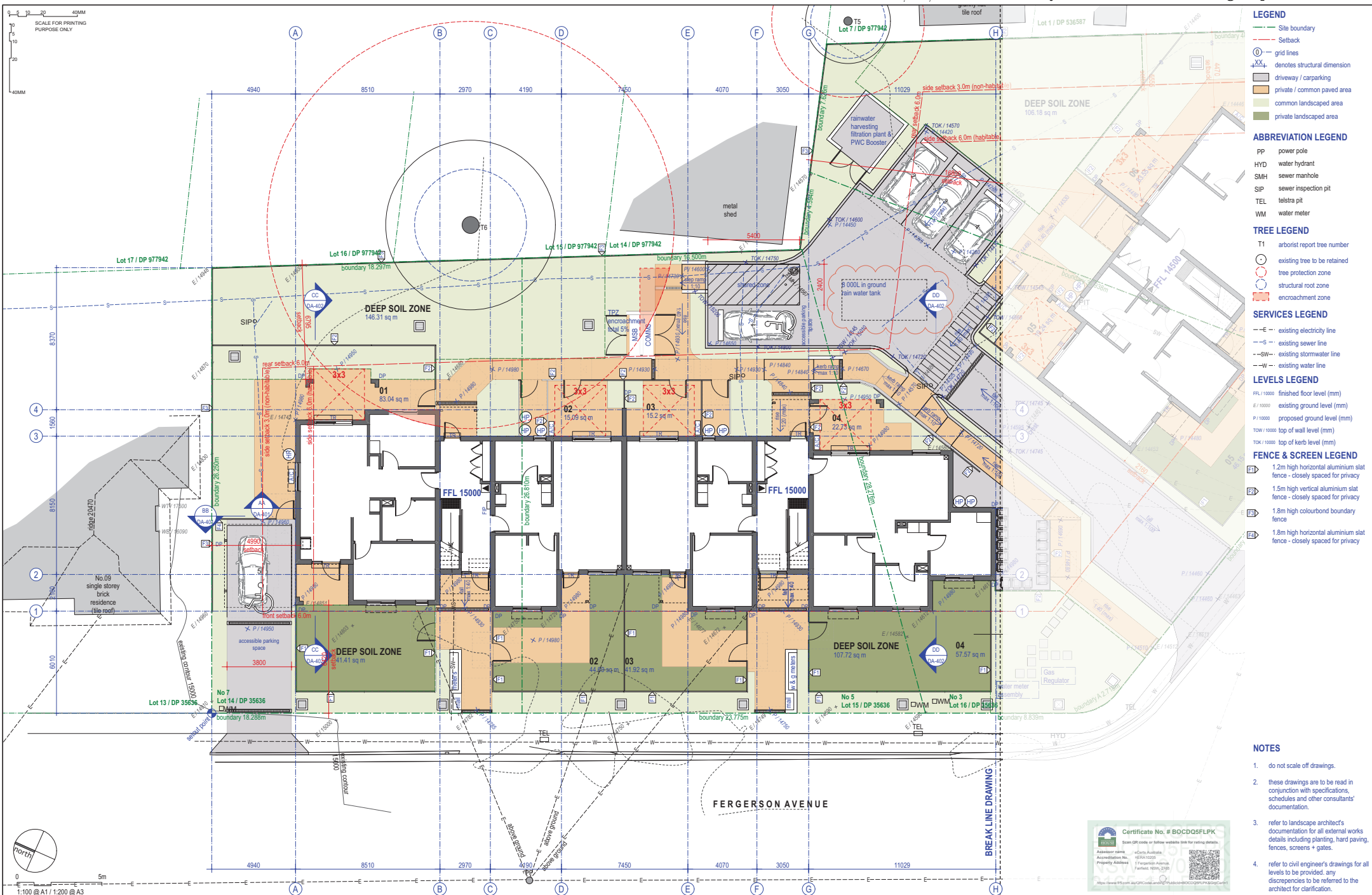
SERVICES CONSULTANT
BUILDING SERVICES ENGINEERS
(BSE)
02 9607 5005
LANDSCAPE CONSULTANT
STUDIO IZ
02 8004 6946

PROJECT
SENIORS HOUSING
at
1-7 Fergerson avenue FAIRFIELD
2272.8 sqm
Lots 14,15,16 &17 in DP 35636



TITLE:
LOT CONSOLIDATION PLAN - PART
02
FILE:
2280 - 01 DA PLANS MASTER.vsw

DATE	SCALE	FIG	PROJECT NO.
PART 5 APPLICATION	1:100 @A1	BGWYA	2280
DATE	SCALE	FIG	PROJECT NO.
DA	SE	AN	AN
DATE	SCALE	FIG	PROJECT NO.
AR	DA-107		A



LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:
anthony nolan + stuart kennedy
6773

PROJECT ARCHITECT:
KENNEDY ASSOCIATES ARCHITECTS
PO BOX 8837 6886
C 25/03/24 IN-GROUND RWT LOCATION AMENDED
REV DATE NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

PROJECT MANAGER:
LAND & HOUSING CORPORATION

ARCHITECT:
REDGUM HORTICULTURAL
STRUCTURAL & STORMWATER CONSULTANT
TONKIN
02 9460 3307

SERVICES CONSULTANT:
BUILDING SERVICES ENGINEERS
(BSE)
64 860 5356
LANDSCAPE CONSULTANT
STUDIO IZ
02 8006 0946

PROJECT:
SENIORS HOUSING
at
1-7 Fergusson Avenue FAIRFIELD
2272.8 sqm
Lots 14,15,16 & 17 in DP: 35636

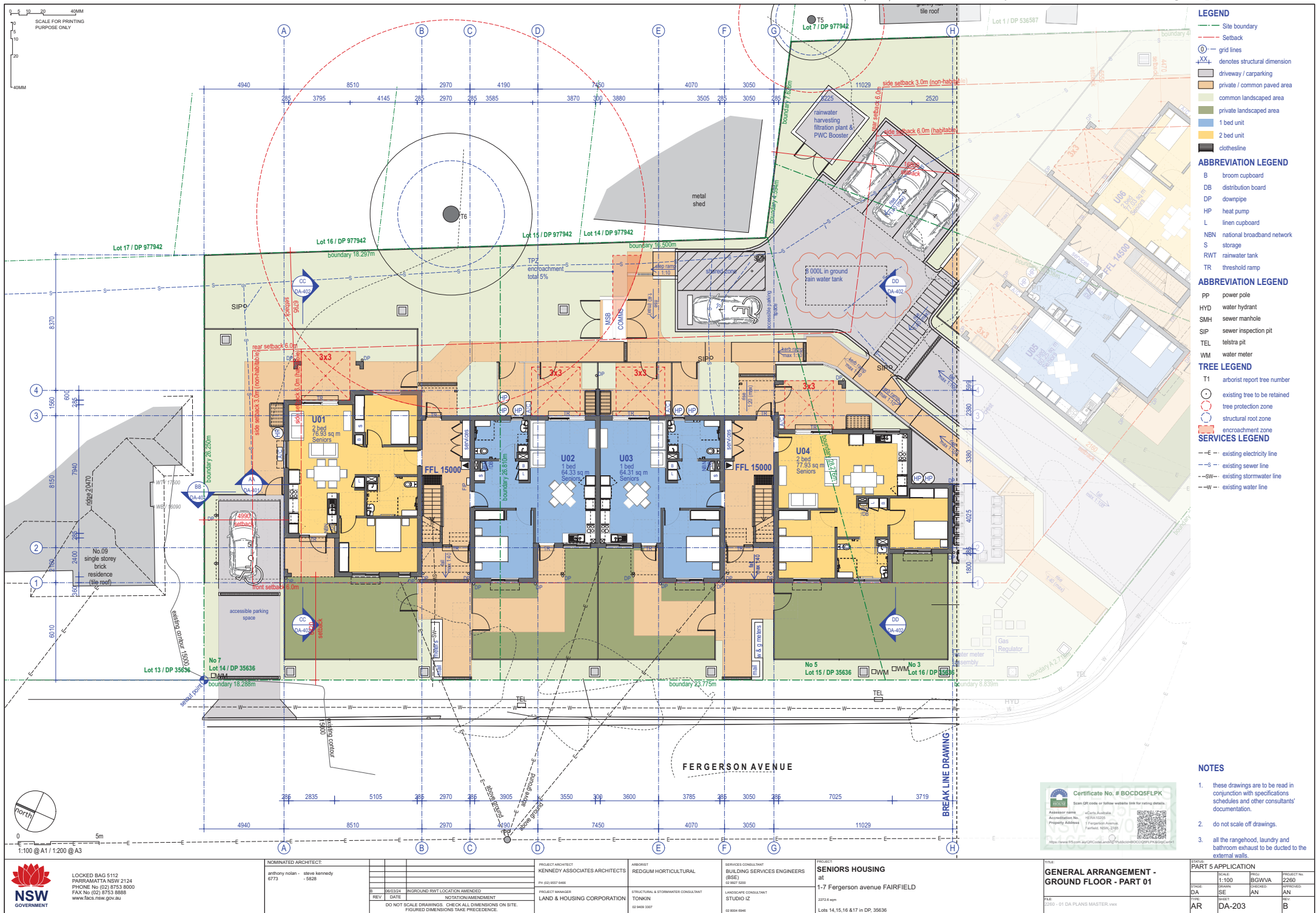


**GENERAL ARRANGEMENT -
EXTERNAL WORKS - PART 01**

PART 5 APPLICATION

DATE	SCALE	FIGURE	PROJECT NO.
22/01/24	1:100	BGVVA	2280
DATE	SE	FIGURED	APPROVED
AR	DA-201	AN	C











LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:		PROJECT ARCHITECT:	ARCHITECT:	SERVICES CONSULTANT:	PROJECT:	STATUS:	
anthony nolan - steve kennedy 6773		KENNEDY ASSOCIATES ARCHITECTS	REDGUM HORTICULTURAL	BUILDING SERVICES ENGINEERS (BSE)	SENIORS HOUSING at 1-7 Fergusson avenue FAIRFIELD	PART 5 APPLICATION	
REV 01 DATE 26/03/24		PROJECT MANAGER:	STRUCTURAL & STORMWATER CONSULTANT:	LANDSCAPE CONSULTANT:	2272.8 sqm	SCALE:	PROJECT NO:
NOTATION/AMENDMENT		LAND & HOUSING CORPORATION	TONKIN	STUDIO IZ	2272.8 sqm	1:100	2280
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. DIMENSIONS TAKE PRECEDENCE.			02 9409 3307	02 8004 0946		DATE:	REV:
						DA	AN
						SE	AN
						AR	B



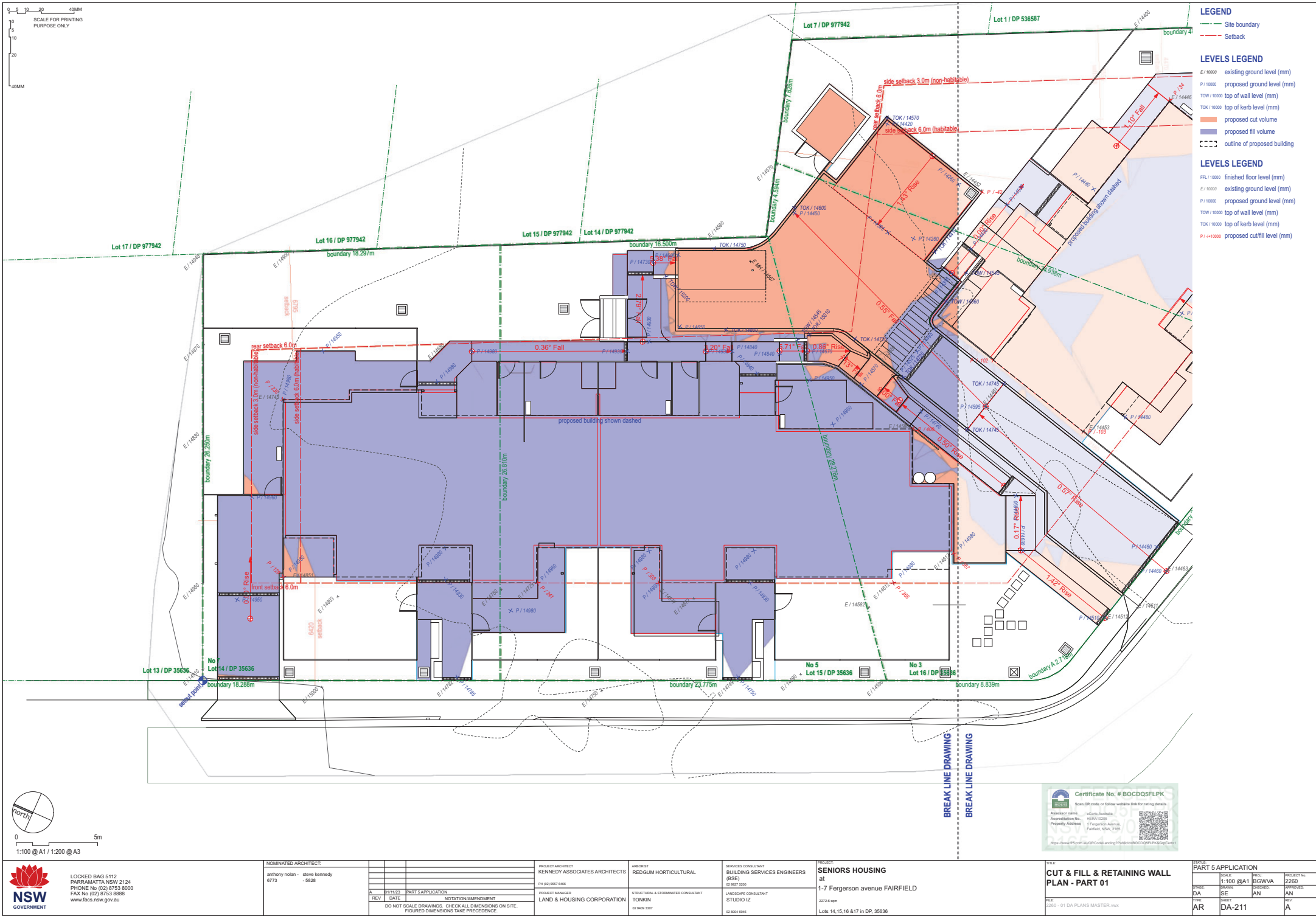


STATUS: PART 5 APPLICATION			
	SCALE: 1:100	PROJ: BGWVA	PROJECT No. 2260
STAGE: DA	DRAWN: SE	CHECKED: AN	APPROVED: AN
TYPE: AR	SHEET: DA-208	REV: B	





	SCALE: 1:100	PROJ: BGWVA	PROJECT No. 2260
STAGE: DA	DRAWN: SE	CHECKED: AN	APPROVED: AN
TYPE: AR	SHEET: DA-210		REV: A



LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8005
www.facs.nsw.gov.au

NOMINATED ARCHITECT:
anthony nolan - stave leach
6773

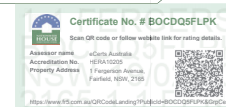
REV	DATE	PART 5 APPLICATION	NOTATION/AMENDMENT
A	21/11/23	PART 5 APPLICATION	
REV	DATE	NOTATION/AMENDMENT	
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.			

PROJECT ARCHITECT
KENNEDY ASSOCIATES ARCHITECTS
PO BOX 9337 6006
PROJECT MANAGER
LAND & HOUSING CORPORATION

ARCHITECT
REDGUM HORTICULTURAL
STRUCTURAL & STORMWATER CONSULTANT
TONKIN
12 0400 3307

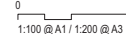
SERVICES CONSULTANT
BUILDING SERVICES ENGINEERS
(BSE)
20 9007 8006
LANDSCAPE CONSULTANT
STUDIO IZ
12 8004 0946

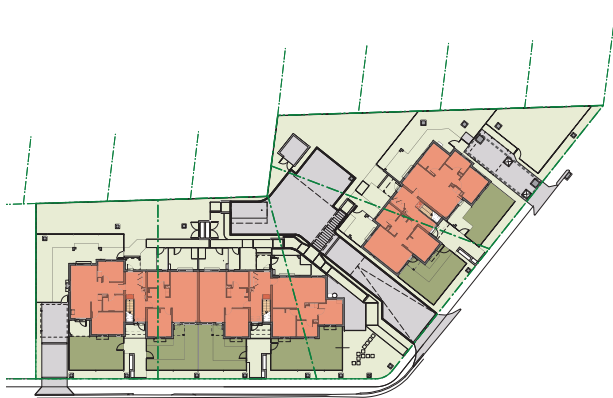
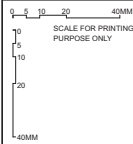
PROJECT
SENIORS HOUSING
at
1-7 Fergerson avenue FAIRFIELD
2272.8 sqm
Lots 14,15,16 &17 in DP, 35636



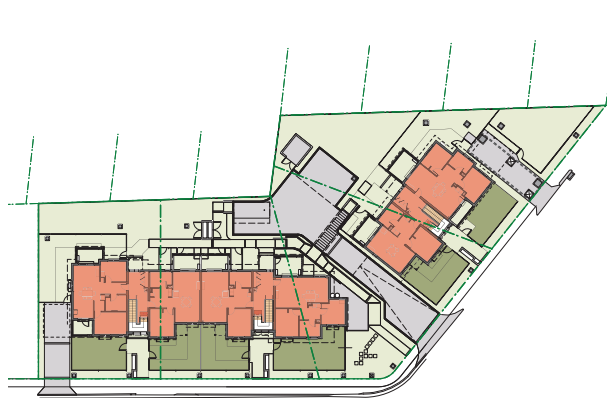
FILE
2280 - 01 DA PLANS MASTER.vws

DATE	REVISION	PROJECT NO.
2280	1:100 @A1	2280
DA	SE	AN
AR	DA-211	A





LEVEL 00



LEVEL 01



LEVEL 00

LEGEND
gross floor area SEPP gross floor area LEP

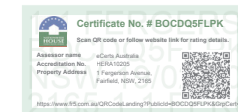


LEVEL 01

DEVELOPMENT DATA - MULTI DWELLING HOUSING				
Job Reference	BGWA			
Locality / Suburb	Fairfield			
Street Address	1-7 Fergerson Avenue, Fairfield			
ZONE	R2 Low density Residential Zone			
Lot & DP	Lots 14,15,16,17 in DP 35636			
Site Area (Survey)	2272 m ²			
EXISTING LOTS	4			
ACCESSIBLE AREA	Yes			
PROPOSED GFA SEPP	Max. Permissible 0.5 : 1	1136.00 sqm	0.43 : 1 978.64	Total Proposed 978.64 Complies Yes
PROPOSED GFA LEP	Max. Permissible 0.45 : 1	1022.40 sqm	0.43 : 1 978.96	Total Proposed 978.96 Complies Yes
YIELD	unit type	1 BED	2 BED	TOTAL
	# of units	6	6	12
	% of yield	50%	50%	

		CONTROL		REQUIRED	PROPOSED	COMPLIES
BUILDING HEIGHT	Housing SEPP			9.5 m	8.0 m	yes
	Fairfield LEP 2013			9.0 m	8.0 m	yes
BUILDING SETBACKS	DCP	Front		6 m	6.0 m	yes
		Side / Rear	Habitable Non-habitable	6 m 3 m	5 m 5 m	no yes
	Housing SEPP (assessable area)	min. 0.4 min. 0.5	space / 1 BED space / 2 BED	6 spaces	6 spaces	yes
CAR PARKING	Housing SEPP schedule 4	min. 10% of total car parking space with min width of 3.8m		1 spaces	2 spaces	yes
LANDSCAPED AREA	Housing SEPP	35 sq m	/ unit	420 sq m	837.978 sq m	yes
DEEP SOIL ZONES	Housing SEPP	15%	of site area - 3m wide	340.8 sq m	512.699 sq m	yes
SOLAR ACCESS	Housing SEPP	min. 70%	of units receive 2h of sun	9 units	9 units	yes
		min. 70%	of units receive 3h of sun	9 units	6 units	no
	ADG	max. 15%	of units receive no sun	2 units	0 units	yes
		min. 50%	of principal COS receives 2h of sun	4.5 sq m	600 sq m	yes

UNIT	TYPE	BEDS	ACCESS	INTERNAL AREA			PRIVATE OPEN SPACE			
				LAHC REQUIRED	PROPOSED	COMPLIES	Unit	LAHC REQUIRED	PROPOSED	LAHC COMPLIES
U01	L00	2	Seniors	70 m ²	76.93 sq m	Yes	U01	15 m ²	131.8 sq m	yes
U02	L00	1	Seniors	50 m ²	64.33 sq m	Yes	U02	15 m ²	59.8 sq m	yes
U03	L00	1	Seniors	50 m ²	64.31 sq m	Yes	U03	15 m ²	57.1 sq m	yes
U04	L00	2	Seniors	70 m ²	77.93 sq m	Yes	U04	15 m ²	80.3 sq m	yes
U05	L00	1	Seniors	50 m ²	60.25 sq m	Yes	U05	15 m ²	65.4 sq m	yes
U06	L00	2	Seniors	70 m ²	77.03 sq m	Yes	U06	15 m ²	130.1 sq m	yes
U07	L01	2	Seniors	70 m ²	76.94 sq m	Yes	U07	10 m ²	14.2 sq m	yes
U08	L01	1	Seniors	50 m ²	64.37 sq m	Yes	U08	8 m ²	8.5 sq m	yes
U09	L00	1	Seniors	50 m ²	64.31 sq m	Yes	U09	8 m ²	8.5 sq m	yes
U10	L00	2	Seniors	70 m ²	77.93 sq m	Yes	U10	10 m ²	10.8 sq m	yes
U11	L01	1	Seniors	50 m ²	60.25 sq m	Yes	U11	8 m ²	8.6 sq m	yes
U12	L01	2	Seniors	70 m ²	77.21 sq m	Yes	U12	10 m ²	15.6 sq m	yes



LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:
anthony nolan - stave kennedy
6773

REV	DATE	AMENDMENT PART & SUBMISSION	NOTATION/AMENDMENT
1	22/02/2024	AMENDMENT PART 5 SUBMISSION	

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

PROJECT ARCHITECT
KENNEDY ASSOCIATES ARCHITECTS
PR: 601 8837 6886
PROJECT MANAGER
LAND & HOUSING CORPORATION

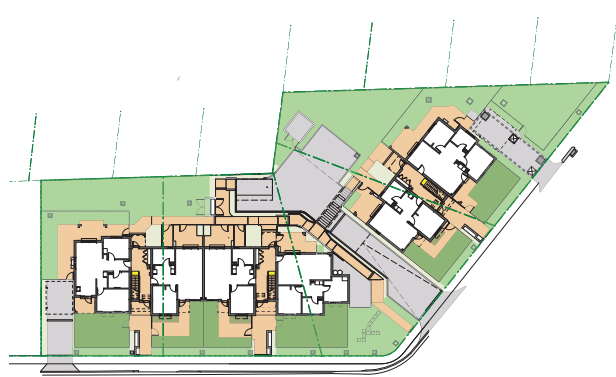
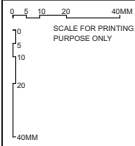
ARCHITECT CONSULTANT
REDGUM HORTICULTURAL
STRUCTURAL & HYDROLOGICAL CONSULTANT
TONKIN
02 9409 3307

SERVICES CONSULTANT
BUILDING SERVICES ENGINEERS (BSE)
02 8857 6008
LANDSCAPE CONSULTANT
STUDIO IZ
02 8004 6946

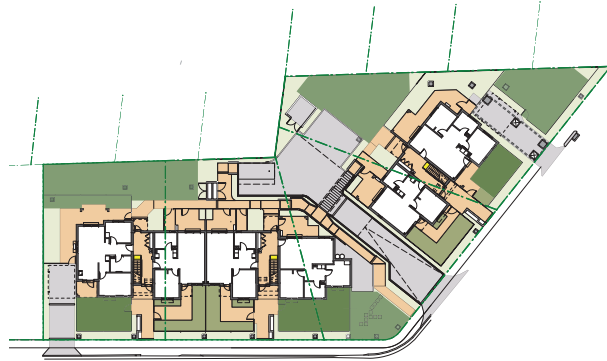
PROJECT
SENIORS HOUSING
at
1-7 FERGERSON AVENUE, FAIRFIELD
2272.6 sqm
Lot 14,15,16 & 17 in DP 35636

TITLE:
AREA COUNTS - SHEET 01
FILE:
2250 - 04 DA DEVELOPMENT DATA.vrx

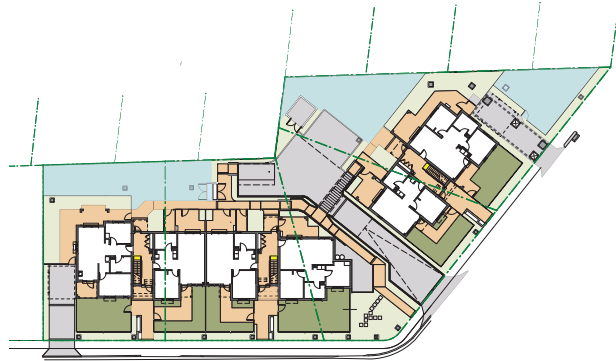
STATUS: PART 5 APPLICATION			
DATE	14/06/24	PROJECT NO.	2260
DA	SE	APPROVED	AN
TYPE	AR	DA-213	REV B



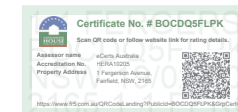
LANDSCAPE AREA (HOUSING SEPP)



DEEP SOIL ZONE (HOUSING SEPP)



COMMUNAL OPEN SPACE (DCP)



 <div>LOOKED BAG 5112 PARRAMATTA NSW 2124 PHONE No (02) 8753 8000 FAX No (02) 8753 8888 www.facs.nsw.gov.au</div>	NOMINATED ARCHITECT: anthony nolan - steve kennedy 6773 - 5828			PROJECT ARCHITECT KENNEDY ASSOCIATES ARCHITECTS PO BOX 8837 6886	AIRBORNE CONSULTANT REDGUM HORTICULTURAL	SERVICES CONSULTANT BUILDING SERVICES ENGINEERS (BSE) 62 887 8088	PROJECT SENIORS HOUSING at 1-7 FERGERSON AVENUE, FAIRFIELD	TITLE: AREA COUNTS - SHEET 02 FILE: 2280 - 04 DA DEVELOPMENT DATA.vrx	STATUS PART 5 APPLICATION			
	REV DATE DA AMENDMENT NOTATION/AMENDMENT			PROJECT MANAGER LAND & HOUSING CORPORATION	STRUCTURAL & STORMWATER CONSULTANT TONKIN 62 9409 3307	LANDSCAPE CONSULTANT STUDIO IZ 62 8004 6946	2272.6 sqm Lot 14,15,16 & 17 in DP 35636		SCALE: 1:400@A1	PROJ: 2280	APPROVED: AN	REV: B
	DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.								STAGE: DA	SPRINT: SE		
									TYPE: AR	SHEET: DA-214		



A 3D architectural rendering of a modern residential complex. The complex features several two-story houses with white walls and grey roofs. The houses are arranged around a central courtyard area with green grass and a paved walkway. There are parking spaces and a small paved area in front of the houses. The rendering is shown from an elevated perspective, highlighting the layout and design of the development.

A 3D architectural rendering of a modern residential complex. The complex features several interconnected buildings with white facades and grey roofs. The buildings have large windows and balconies, some with yellow accents. A central courtyard with green grass and a paved walkway is visible. A parking area with several cars is located in the foreground. The entire complex is enclosed by a dark fence. The rendering is shown from an elevated perspective, highlighting the layout and design of the buildings and surrounding landscape.

A 3D perspective rendering of a modern, multi-unit residential building complex. The complex features several interconnected buildings with flat, grey roofs and light-colored facades. Large windows with yellow frames are visible. The buildings are arranged around a central green courtyard area. A paved parking area with several spaces is located adjacent to the buildings. The entire complex is enclosed by a dark, low wall. The rendering is shown from an elevated perspective, highlighting the layout and surrounding landscape.


A 3D architectural rendering of a modern house. The house features a large central hall with a grey floor, surrounded by several rooms with white walls and yellow accents. The roof is grey and flat. The house is set on a green lawn with a grey path leading to the entrance. The overall design is clean and minimalist.

A 3D architectural rendering of a modern residential complex. The building features a mix of white and grey facades with large windows and flat roofs. It is surrounded by a landscaped area with green lawns, pathways, and a central courtyard. The entire complex is enclosed by a low wall, and the rendering is shown from an elevated perspective.

	Unit	U 01	U 02	U 03	U 04	U 05	U 06	U 07	U 08	U 09	U 10	U 11	U 12
9:30am to 10:30am													
10:30am to 11:30am													
11:30am to 12:30pm													
12:30pm to 1:30pm													
1:30pm to 2:30pm													
2:30pm to 3:30pm													
3:30pm to 4:30pm													
4:30pm to 5:30pm													
Total Hours		6	2	1	1	5	2	6	2	1	3	6	1

	Unit	U 01	U 02	U 03	U 04	U 05	U 06	U 07	U 08	U 09	U 10	U 11	U 12
9:00am to 10:00am													
10:00am to 11:00am													
11:00am to 12:00pm													
12:00pm to 13:00pm													
13:00pm to 14:00pm													
14:00pm to 15:00pm													
Total Hours		6	5	5	5	6	6	4	3	3	3	4	4

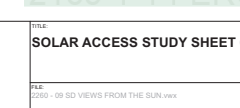
Solar Access															
POS	Unit 1	Unit 2	Unit 3	Unit 4	Unit 5	Unit 6	Unit 7	Unit 8	Unit 9	Unit 10	Unit 11	Unit 12	Requirements	Complies	
9:00am to 10:00am	1	1	1	1	1	1	0	0	0	0	0	0			
10:00am to 11:00am	1	1	1	1	1	1	0	0	0	0	0	0			
11:00am to 12:00pm	1	1	1	1	1	1	0	0	0	1	1	1			
12:00pm to 1:00pm	1	1	1	1	1	1	0	1	1	1	1	1			
1:00pm to 2:00pm	1	1	1	1	1	1	1	0	0	0	1	1			
2:00pm to 3:00pm	0	0	0	0	0	0	0	0	0	0	0	0			
Total Hours	6hrs	5hrs	6hrs	6hrs	6hrs	6hrs	4hrs	3hrs	3hrs	3hrs	4hrs	5hrs	Min 2hrs of 12		
Complies	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Min 70% of 12		



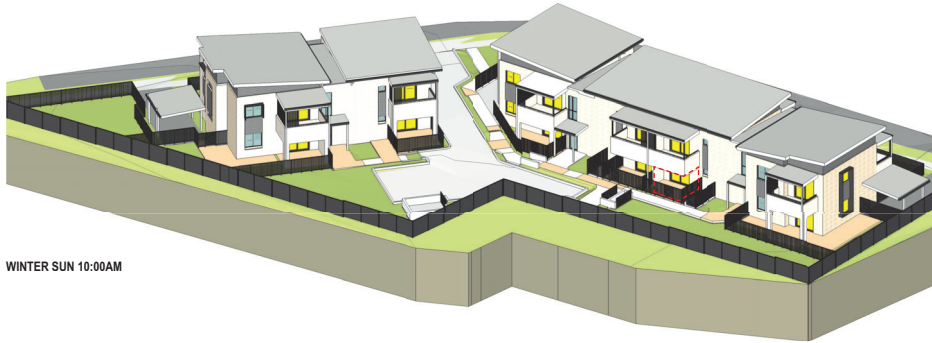
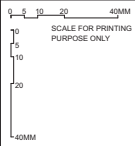
Certificate No. # B

Scan QR code or follow website

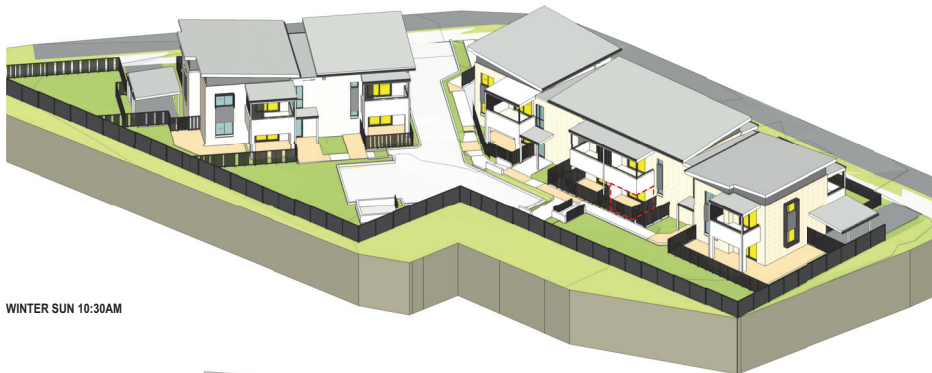
Assessor name: [Jeffrey Adams](#)
Property Address: [100](#)



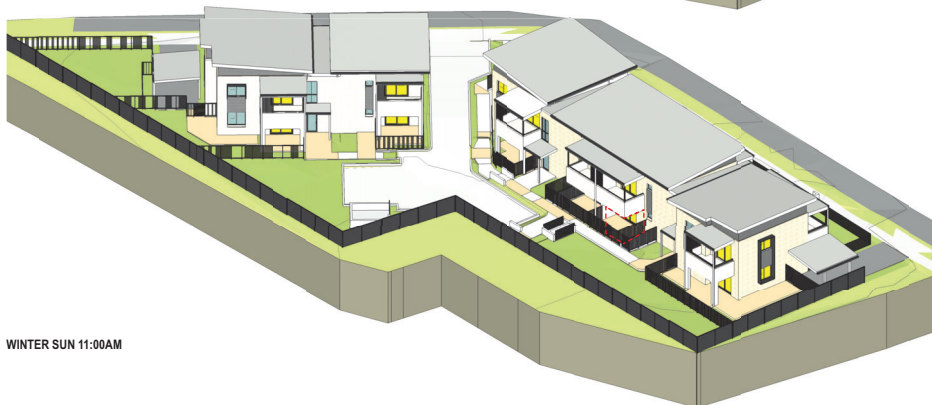
 <div>LOCKED B112 0112 PARRAMATTA NSW 2124 PHONE No (02) 8753 8000 FAX No (02) 8753 8808 www.facs.nsw.gov.au</div>	NOMINATED ARCHITECT: anthony rolan 6773		PROJECT ARCHITECT ARBORIST CONSULTANT KENNEDY ASSOCIATES ARCHITECTS RD GUMPTUL CIRCULAR PH (02) 8587 6466	SERVICES CONSULTANT BUILDING SERVICES ENGINEERS (BSE) 10 WEST AVE	PROJECT SENIORS HOUSING at 1-7 FERGERSON AVENUE, FAIRFIELD	TITLE SOLAR ACCESS STUDY SHEET 01	STAGE PART 5 APPLICATION	
	PROJECT MANAGER DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FOURED DIMENSIONS TAKE PRECEDENCE.		STRUCTURAL & STORMWATER CONSULTANT TOKIN 101 MAJOR STREET	LANDSCAPE CONSULTANT STUDIO IX 20/200 ROAD	DATE 22/12/20	FILED 22/12/20 - 09 SD SVWS FROM THE SUN SW-ux	DATE 22/12/20	
	REV 1		DATE 21/12/20	DESCRIPTION PART APPLICATION	DATE 21/12/20	FILED 21/12/20	DATE 21/12/20	FILED 21/12/20
	REV 2		DATE 21/12/20	DESCRIPTION NOTATION/AMENDMENT	DATE 21/12/20	FILED 21/12/20	DATE 21/12/20	FILED 21/12/20



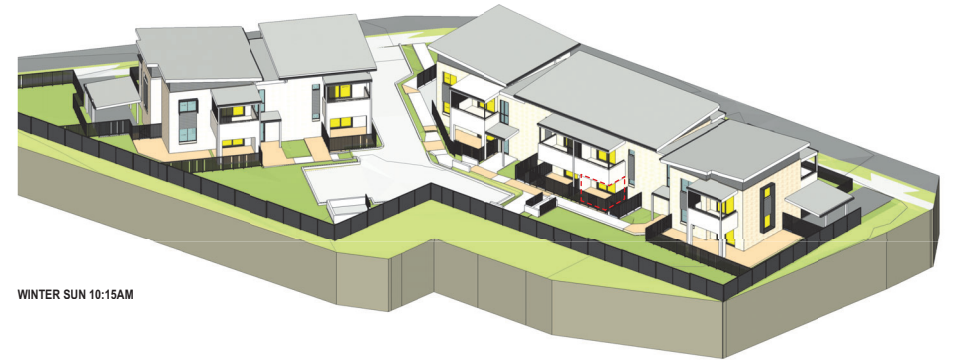
WINTER SUN 10:00AM



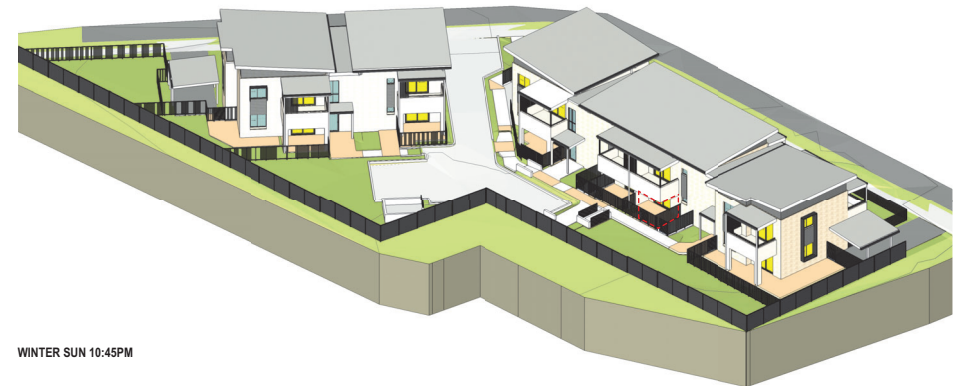
WINTER SUN 10:30AM



WINTER SUN 11:00AM

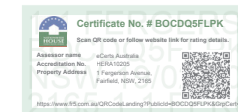
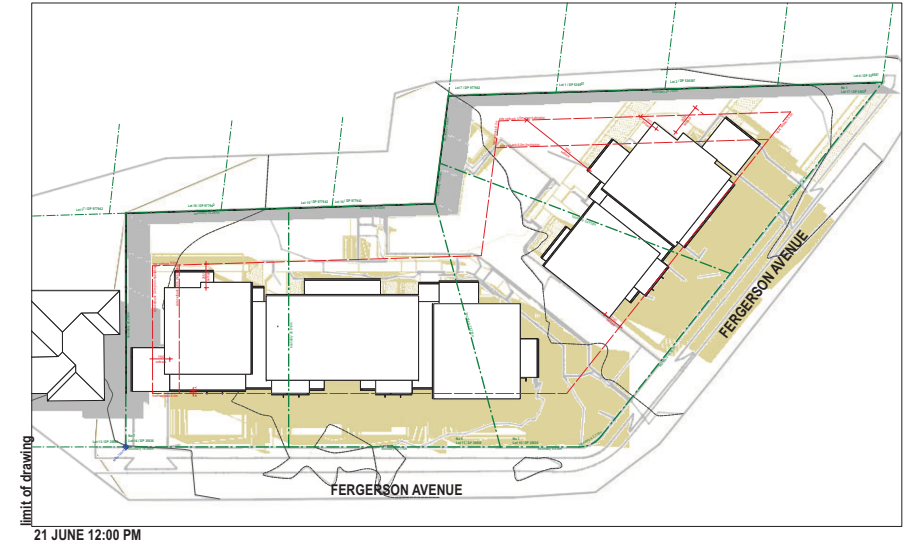
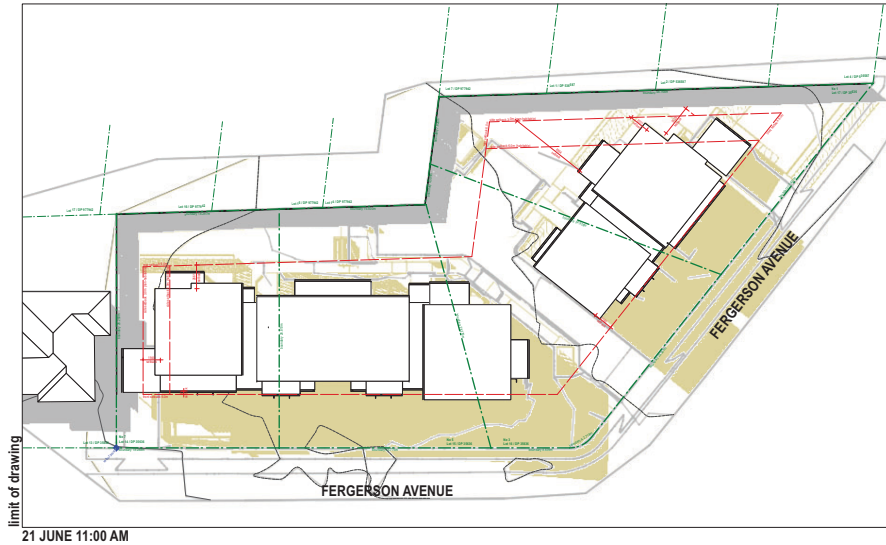
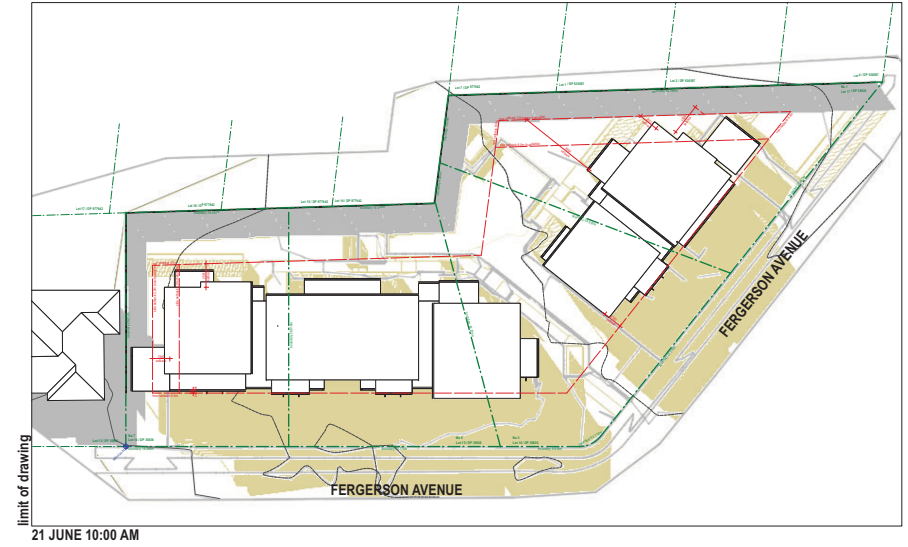
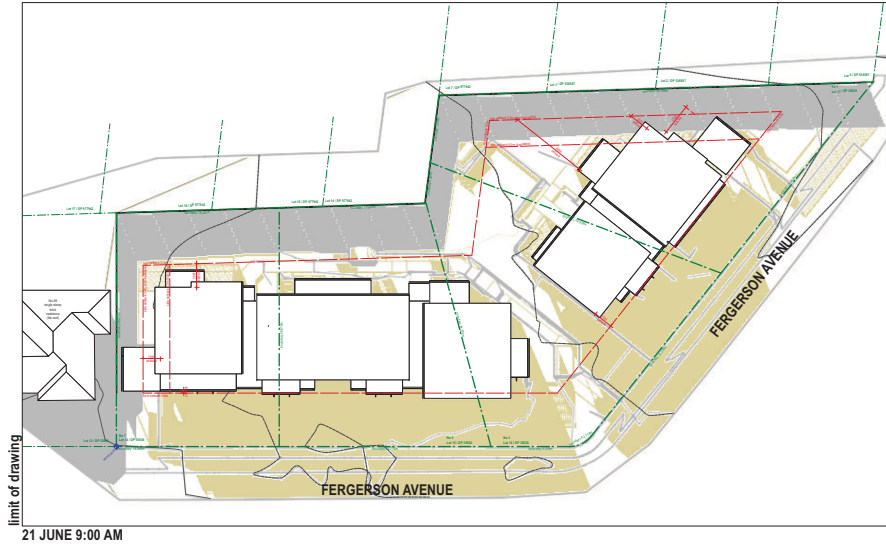
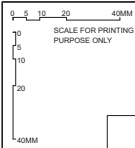


WINTER SUN 10:15AM



WINTER SUN 10:45PM

[illegible]



SHADOW LEGEND

PROPOSED SHADOW

EXISTING SHADOW



LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:

anthony nolan - steve kennedy
6773

PROJECT ARCHITECT:

KENNEDY ASSOCIATES ARCHITECTS
PO BOX 8037 6886

PROJECT MANAGER:

LAND & HOUSING CORPORATION
TONKIN
02 9409 3307

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT CONSULTANT:

REDGUM HORTICULTURAL
STRUCTURAL & STORMWATER
TONKIN
02 9409 3307

SERVICES CONSULTANT:

BUILDING SERVICES ENGINEERS
(BSE)
PO BOX 8037 6886

LANDSCAPE CONSULTANT:

STUDIO IZ
02 8004 6946

PROJECT:

SENIORS HOUSING
at
1-7 Ferguson avenue FAIRFIELD
2272.6 sqm
Lot 14,15,16 &17 in DP. 35636

TITLE:

SHADOW DIAGRAMS - WINTER
SOLSTICE 1

FILE:

2280 - 00 SD MODEL MASTER.vrx

SCALE:

1:300 @A1 BGWYA

DATE:

DA-217

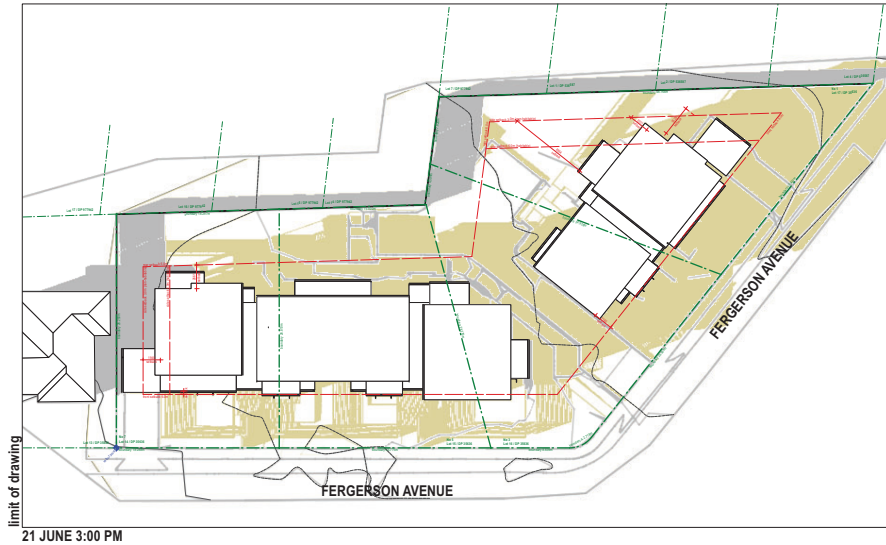
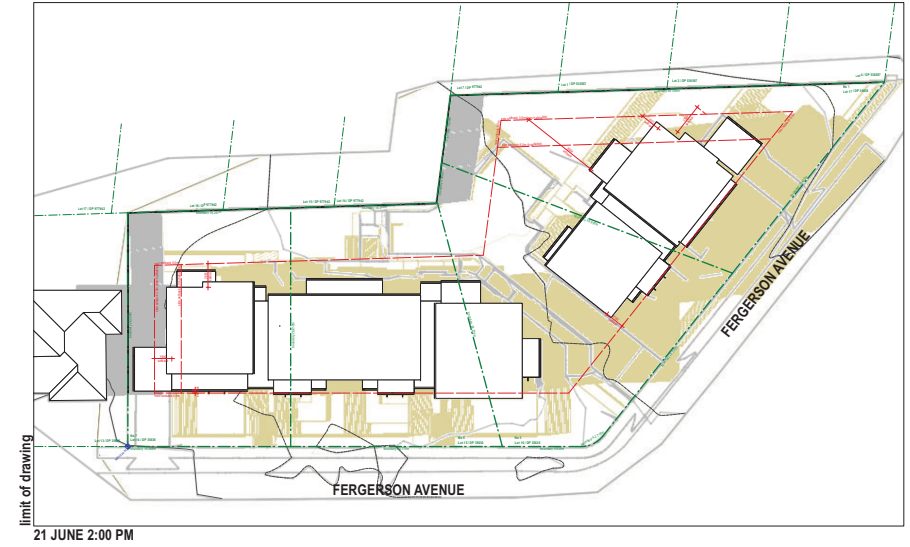
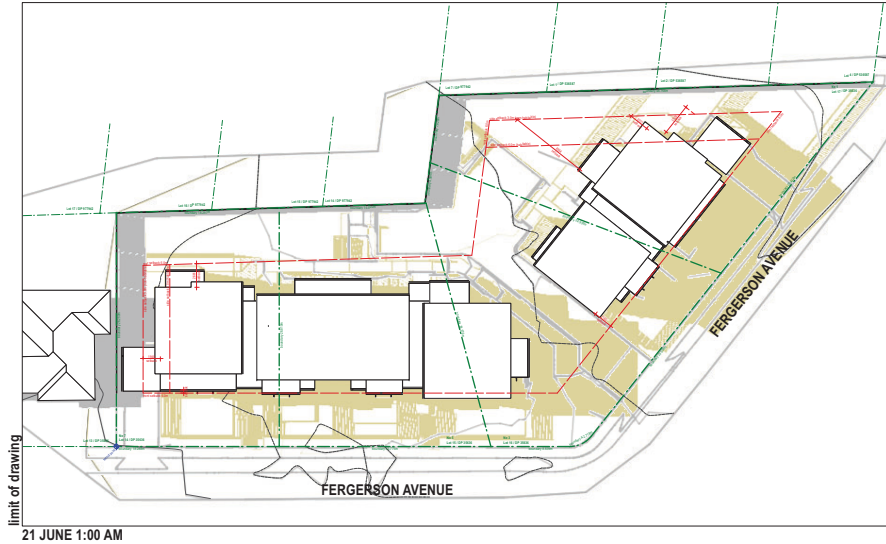
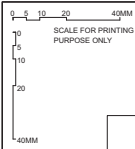
REV A

PROJECT NO:

2280

APPROVED:

AN



SHADOW LEGEND

PROPOSED SHADOW

EXISTING SHADOW



LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:

anthony nolan - steve kennedy
6773

PROJECT ARCHITECT:

KENNEDY ASSOCIATES ARCHITECTS
PO BOX 8037 6886

PROJECT MANAGER:

LAND & HOUSING CORPORATION

ARCHITECT CONSULTANT:

REDGUM HORTICULTURAL

STRUCTURAL & FORMMASTER:

TONKIN

SERVICES CONSULTANT:

BUILDING SERVICES ENGINEERS
(BSE)
PO BOX 8038

LANDSCAPE CONSULTANT:

STUDIO IZ

PROJECT:

SENIORS HOUSING
at
1-7 Fergusson avenue FAIRFIELD

2272.6 sqm
Lot 14,15,16 &17 in DP. 35636

**SHADOW DIAGRAMS - WINTER
SOLSTICE 2**

2280 - 00 SD MODEL MASTER.vrx

PART 5 APPLICATION

SCALE: 1:100 @A1
PAGE: DA
SHEET: SE
REV: AN

PROJECT NO: 2280
APPROVED: AN
REV: A



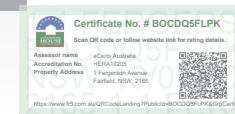
**STREET ELEVATION
BLOCK A & B**



**STREET ELEVATION
BLOCK C**

FINISHES LEGEND:

											
PMS01	BRK01	BRK02	CLD01	PWC01	F1	F2	F3	F4	BLK01	VHD01	SCR01
Prefinished Metal Sheet: Custom Orb - Shale grey	Face Brick R1: PGH - Coastal hamptons	Face Brick B2: PGH - dry pressed	Weatherboard: Sycor LINEA - Wallaby	Powdercoat: Dulux - Monument	Front Fence: 1.2m (similar product)	Rear Fence: 1.5h (similar product)	Boundary Fence: 1.8h (similar product)	Front Fence: 1.8h (similar product)	Retaining Wall / Fence: Block work	Window Hood: (similar product)	Screen (similar product)

[illegible]



**SOUTH WEST ELEVATION
BLOCK A & B**



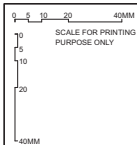
**NORTH EAST ELEVATION
BLOCK A & B**

FINISHES LEGEND:

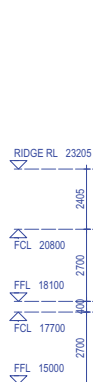
--	--	--	--	--	--	--	--	--	--	--	--



	LOOKED BAG 5112 PARRAMATTA NSW 2124 PHONE No (02) 8753 8000 FAX No (02) 8753 8888 www.facs.nsw.gov.au	NOMINATED ARCHITECT:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																															
--	---	----------------------	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--



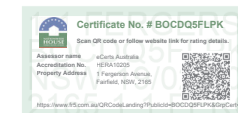
**SOUTH EAST ELEVATION
BLOCK A & B**



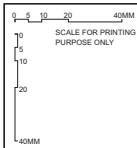
**NORTH WEST ELEVATION
BLOCK A & B**

FINISHES LEGEND:

											
---	---	---	---	---	--	---	---	---	---	---	---



 <div>LOCKED BAG 5112 PARRAMATTA NSW 2124 PHONE NO (02) 8753 8000 FAX NO (02) 8753 8858 www.facs.nsw.gov.au</div>	NOMINATED ARCHITECT: anthony nolan - steve kennedy 6773 - 5828		PROJECT ARCHITECT: KENNEDY ASSOCIATES ARCHITECTS Ph (02) 857 8566		ARCHITECT CONSULTANT: REDGUM HORTICULTURAL		SERVICES CONSULTANT: BUILDING SERVICES ENGINEERS (BSE) G2 M07 0000		PROJECT: SENIORS HOUSING 1-7 Ferguson avenue FAIRFIELD		TITLE: ELEVATION SHEET 03		STAGE: PART 5 APPLICATION	
	PROJECT MANAGER: TONKIN		STRUCTURAL & STOREFRONT CONSULTANT: TONKIN G2 M09 3007		LANDSCAPE CONSULTANT: STUDIO X G2 M00A 0000		DATE: 14.15.16.17 IN DP 15636		SCALE: 2072.6 mm		PROJECT NO: 1:100 @A1		PROJECT NO: 2260	
	DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FPOURED DIMENSIONS TAKE PRECEDENCE.		LAND & HOUSING CORPORATION								P.L.E. 2/20 - G2 SD ELEVATIONS MASTER.vwx			
	REV		NOTATION/AMENDMENT		REV		NOTATION/AMENDMENT		REV		NOTATION/AMENDMENT		REV	



**SOUTH ELEVATION
BLOCK C**



**NORTH ELEVATION
BLOCK C**



Prefinished
Custom Orb
(or similar)



Face Brick 01:
PGH - Coastal hamptons
- Gull grey (or similar)



Face Brick 02:
PGH - dry pressed
- tinto cream (or similar)



Weatherboard:
Scyon LINEA - Wallab
(or similar)



Powdercoat:
Dulux - Monument
(or similar)



Front Fence:
1.2m h (similar product)



Rear Fence:
1.5 h (similar product)



Boundary Fence:
1.8h (similar product)



Front Fence:
1.8mh (similar product)



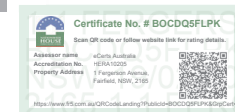
Retaining Wall / Fence
Block work
(similar product)



Window Hood:
(similar product)



Screen
(similar product)



TITLE ELEVATION SHEET 04	STATUS PART 5 APPLICATION		
	SCALE 1:60 @A1	PROJ BGWVA	PROJECT No. 2260
	DRAWN DA	CHECKED SE	APPROVED AN
	FILE 2260 - 02 DA ELEVATIONS MASTER.vrx		
	TYPE AR	SHEET DA-304	REV B



LOCKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:	
anthony nolan -	steve ken
6773	- 5828

PROJECT ARCHITECT
KENNEDY ASSOCIATES ARCHITECTS

ARBORIST CONSULTANT
REDGUM HORTICULTURAL

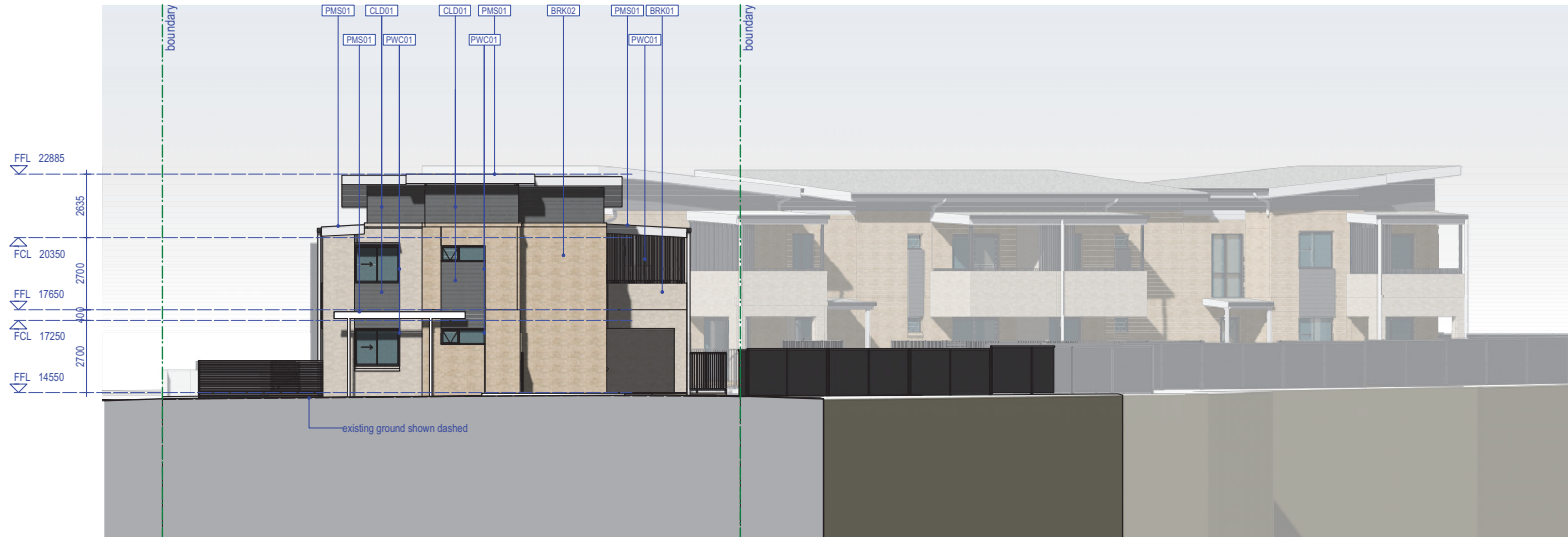
SERVICES CONSULTANT
BUILDING SERVICES ENGINEERS
(BSE)

PROJECT:
SENIORS HOUSING
at

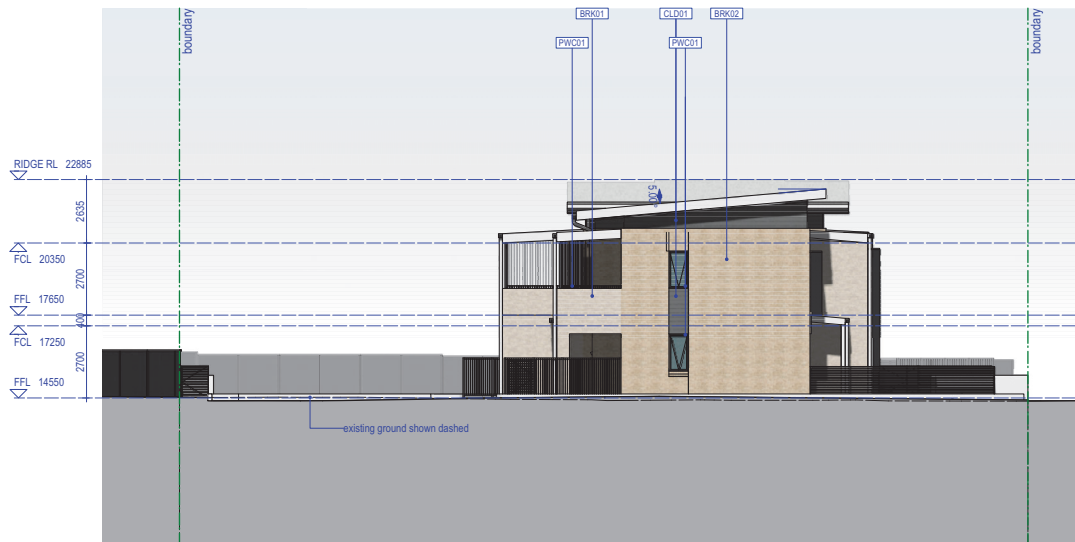
1-7 Fergerson avenue
2272.6 sqm
Lot 14,15,16 &17 in DP. 35636

TITLE:
ELEVATION SHEET 04

FILE:
2260 - 02 DA ELEVATIONS MASTER.vwx



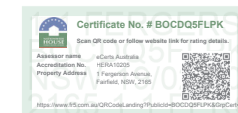
**EAST ELEVATION
BLOCK C**



**WEST ELEVATION
BLOCK C**

FINISHES LEGEND:

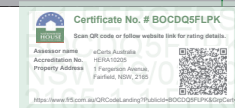
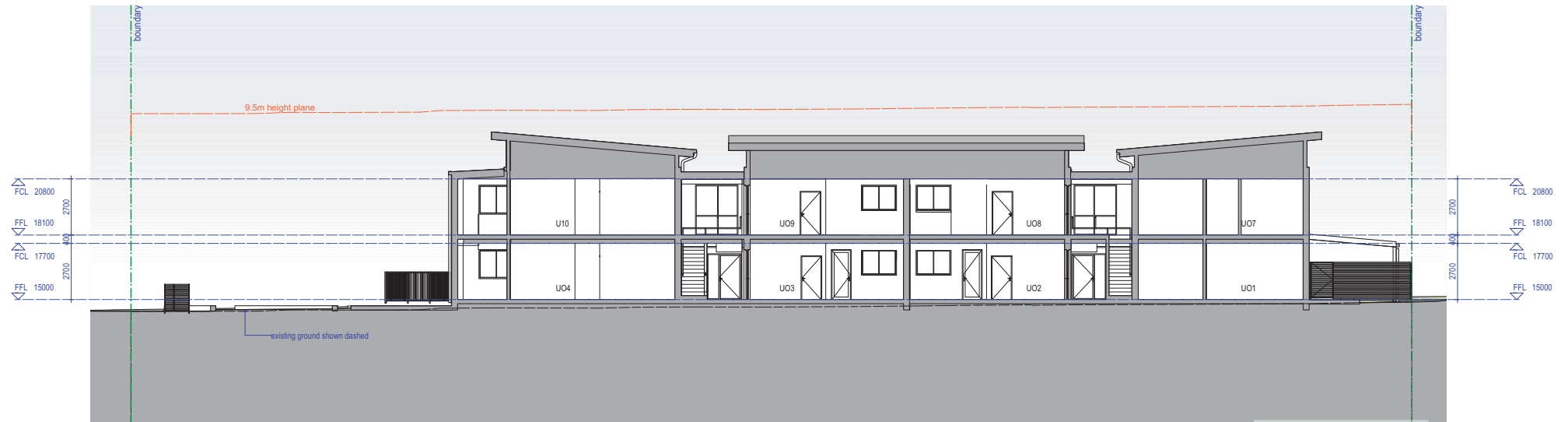
											
---	---	---	---	---	---	---	---	---	---	---	---

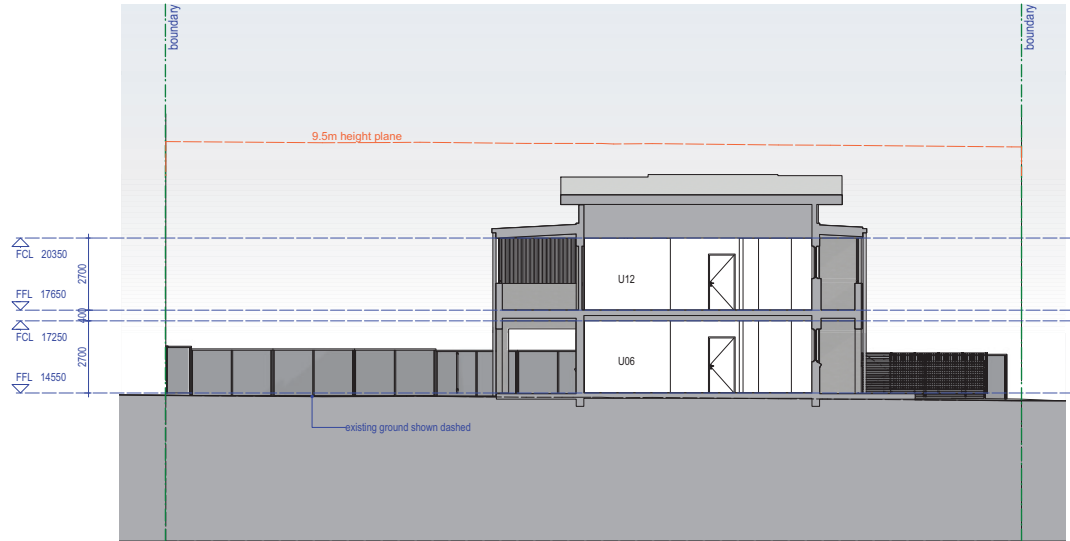
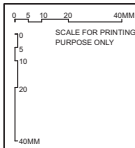


TITLE ELEVATION SHEET 05	SOURCE PART 5 APPLICATION			
	SCALE 1:100 @A1		PROJ BGWVA	PROJECT NO. 2260
	STAGE DA	DRAWING SE	CHECKED AN	APPROVED AN
	FILE 2260 - 02 SD ELEVATIONS MASTER.vsw	TYPE AR	SHEET DA-305	REV A



SECTION BB
BLOCK A & B





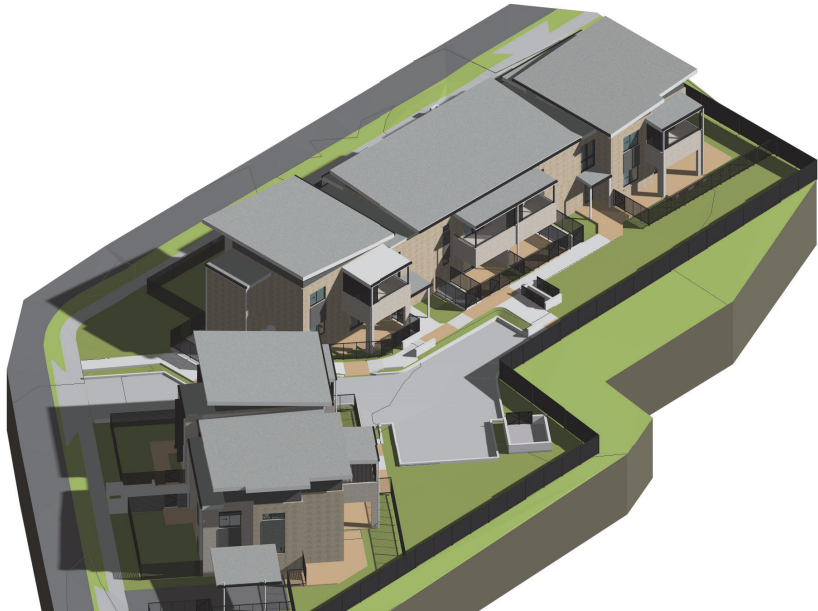
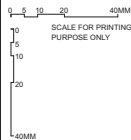
SECTION EE
BLOCK C



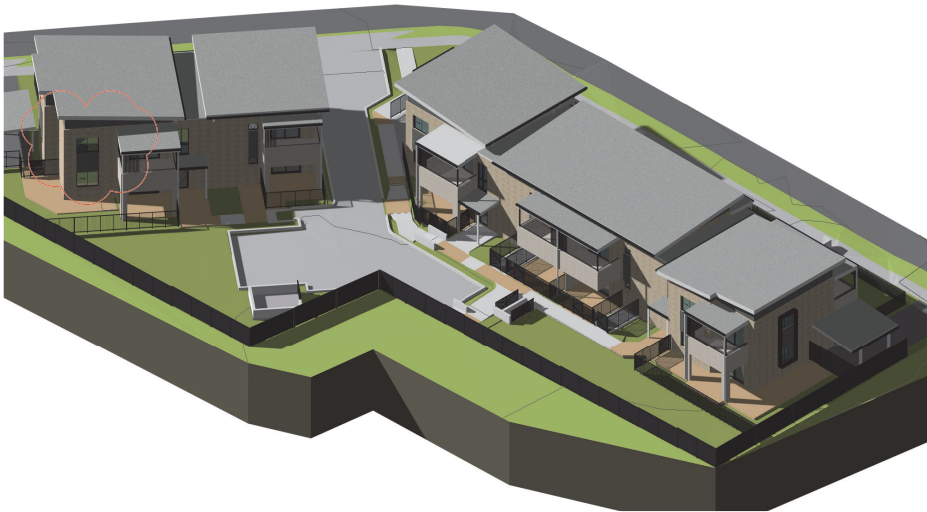
SECTION FF
BLOCK C



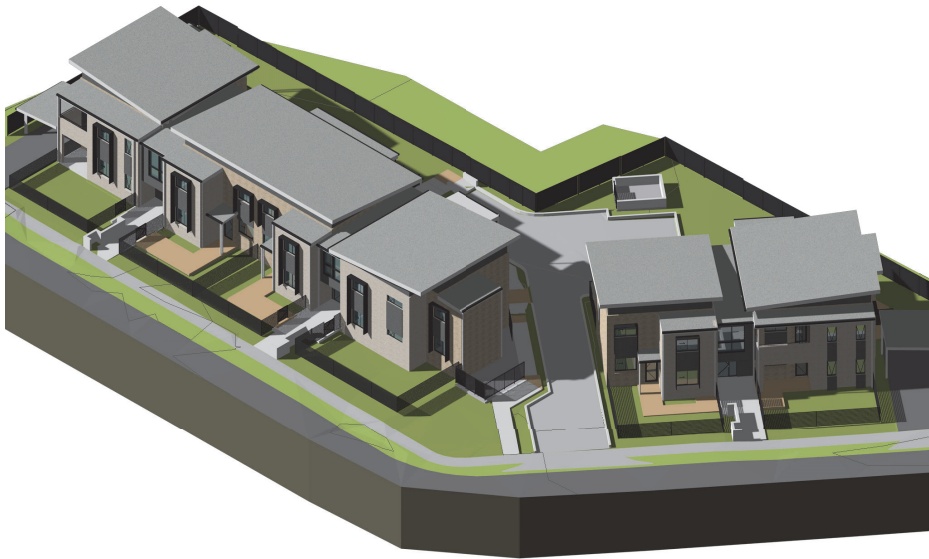
 <p>LOCKED BAG 5112 PARRAMATTA NSW 2124 PHONE No (02) 8753 8000 FAX No (02) 8753 8888 www.facs.nsw.gov.au</p>	NOMINATED ARCHITECT: anthony nolan - 5828 6773		PROJECT ARCHITECT KENNEDY ASSOCIATES ARCHITECTS PO BOX 8887 6886		AIRBORNE CONSULTANT REDGUM HORTICULTURAL		SERVICES CONSULTANT BUILDING SERVICES ENGINEERS (BSE) PO BOX 5008		PROJECT SENIORS HOUSING at 1-7 Fergusson avenue FAIRFIELD		TITLE: SECTION SHEET 03		STATUS PART 5 APPLICATION			
			PROJECT MANAGER LAND & HOUSING CORPORATION		STRUCTURAL & STORMWATER CONSULTANT TONKIN 12 9409 3307		LANDSCAPE CONSULTANT STUDIO IZ 12 8004 6948		2272.8 sqm Lot 14,15,16 &17 in DP 35636		FILE: 2280 - 02 SD ELEVATIONS MASTER.vvx		SCALE: 1:100 @A1		PAGE: BGWVA 2280	
													REV:		REV:	
													DA		AN	



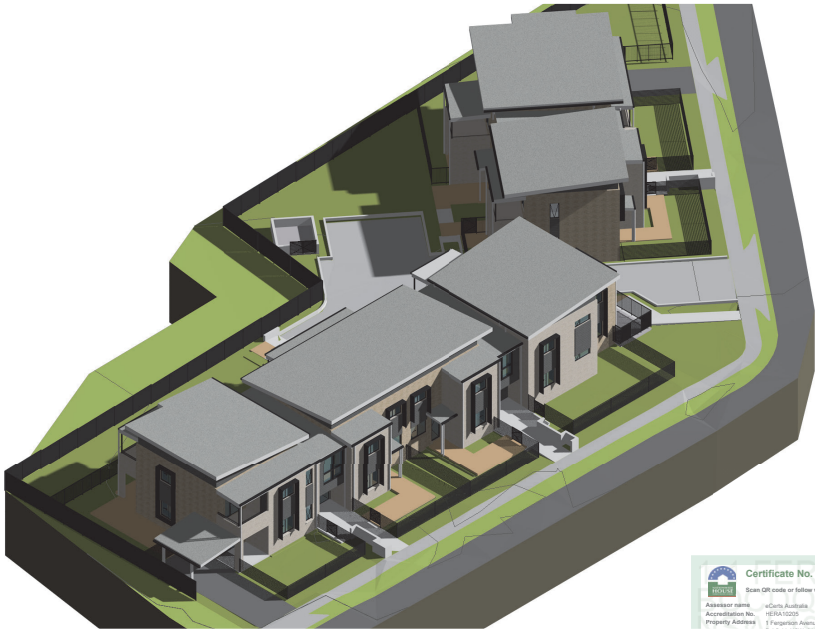
VIEW 01



VIEW 02



VIEW 03



VIEW 04



LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8888
www.facs.nsw.gov.au

NOMINATED ARCHITECT:
anthony nolan - steve kennedy
6773

REV	DATE	PART 5 REVISION	NOTATION/AMENDMENT
1	15/02/24	PART 5 REVISION	
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

PROJECT ARCHITECT
KENNEDY ASSOCIATES ARCHITECTS
PO BOX 8888
PROJECT MANAGER
LAND & HOUSING CORPORATION

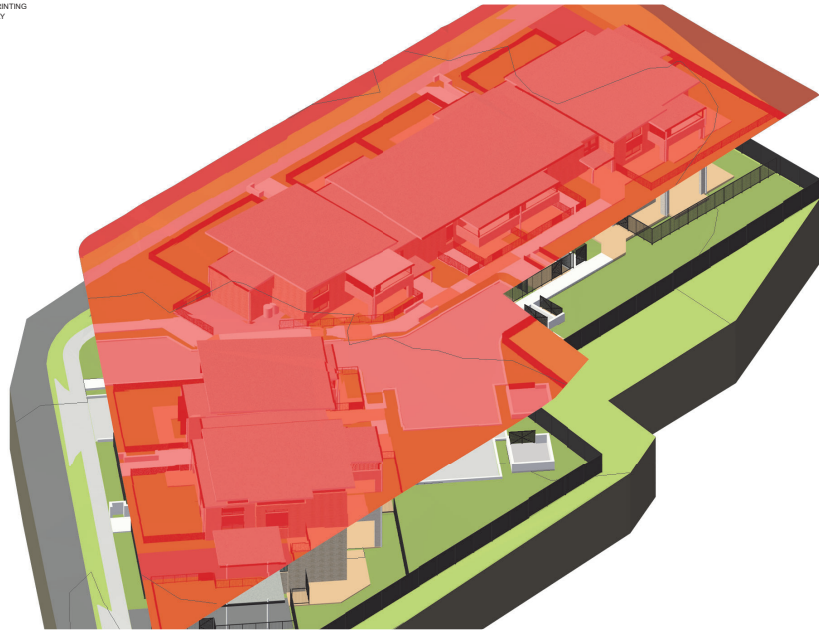
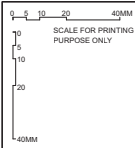
ARCHITECT CONSULTANT
REDGUM HORTICULTURAL
STRUCTURAL & STORMWATER CONSULTANT
TONKIN
02 9409 3307

SERVICES CONSULTANT
BUILDING SERVICES ENGINEERS
(BSE)
02 9507 5000
LANDSCAPE CONSULTANT
STUDIO IZ
02 8004 6949

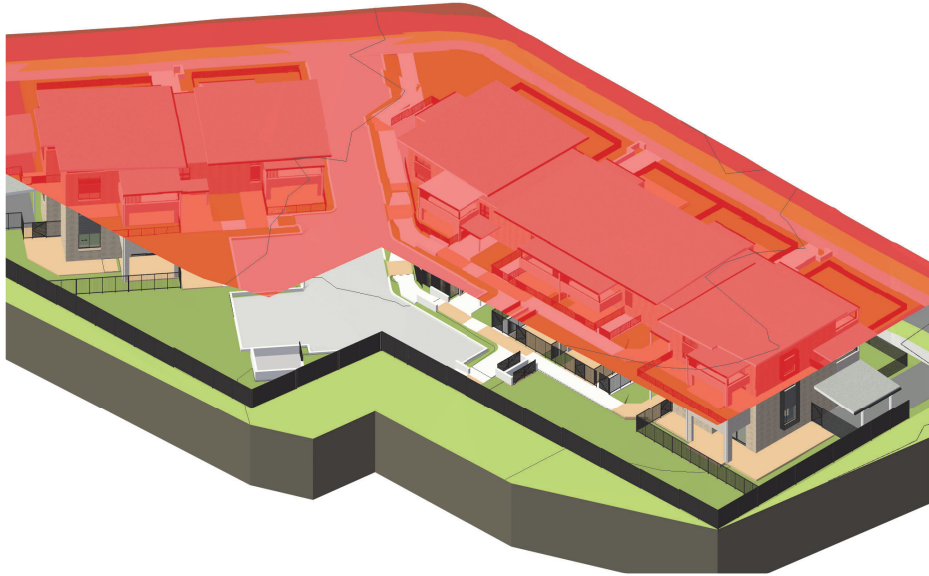
PROJECT
SENIORS HOUSING
at
1-7 Fergerson avenue FAIRFIELD
2272.8 sqm
Lot 14,15,16 &17 in DP 35636

TITLE:
AXONOMETRIC VIEWS
FILE:
2280 - 02 DA ELEVATIONS MASTER.vrx

STATUS PART 5 APPLICATION			
SCALE	1:100 @A1	PAGE	BGWVA 2280
DATE	DA	REVISION	AN
TYPE	AR	REVISION	B



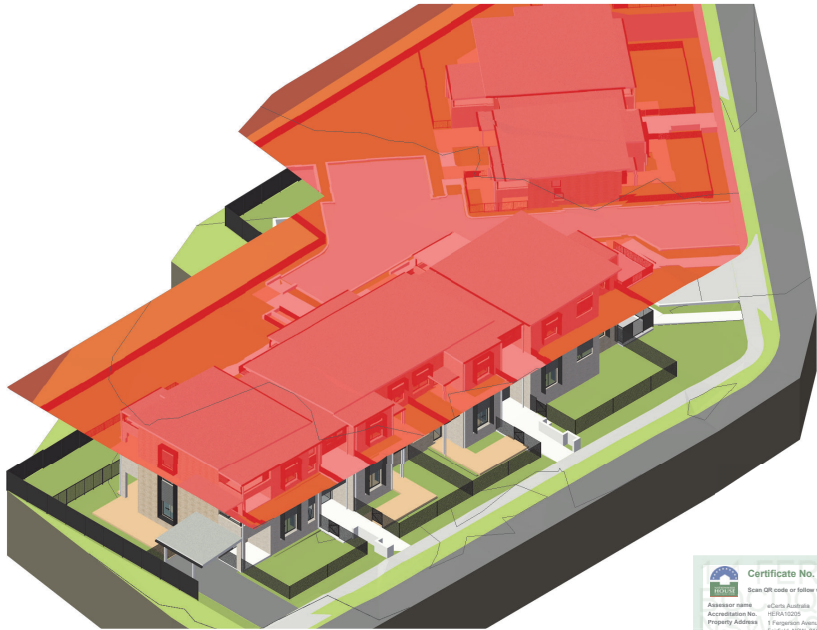
VIEW 01



VIEW 02



VIEW 03



VIEW 04



LOOKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 8753 8000
FAX No (02) 8753 8005
www.facs.nsw.gov.au

NOMINATED ARCHITECT:
anthony nolan - steve kennedy
6773

REV	DATE	NOTATION/AMENDMENT
A	27/11/23	PART 5 APPLICATION
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT ARCHITECT
KENNEDY ASSOCIATES ARCHITECTS
PR: 661 8657 6886
PROJECT MANAGER
LAND & HOUSING CORPORATION

AIRBORNE CONSULTANT
REDGUM HORTICULTURAL
STRUCTURAL & STORMWATER CONSULTANT
TONKIN
02 9409 3307

SERVICES CONSULTANT
BUILDING SERVICES ENGINEERS
(BSE)
02 9607 6006
LANDSCAPE CONSULTANT
STUDIO IZ
02 8004 6946

PROJECT
SENIORS HOUSING
at
1-7 Fergerson avenue FAIRFIELD
2272.8 sqm
Lot 14,15,16 &17 in DP 35636

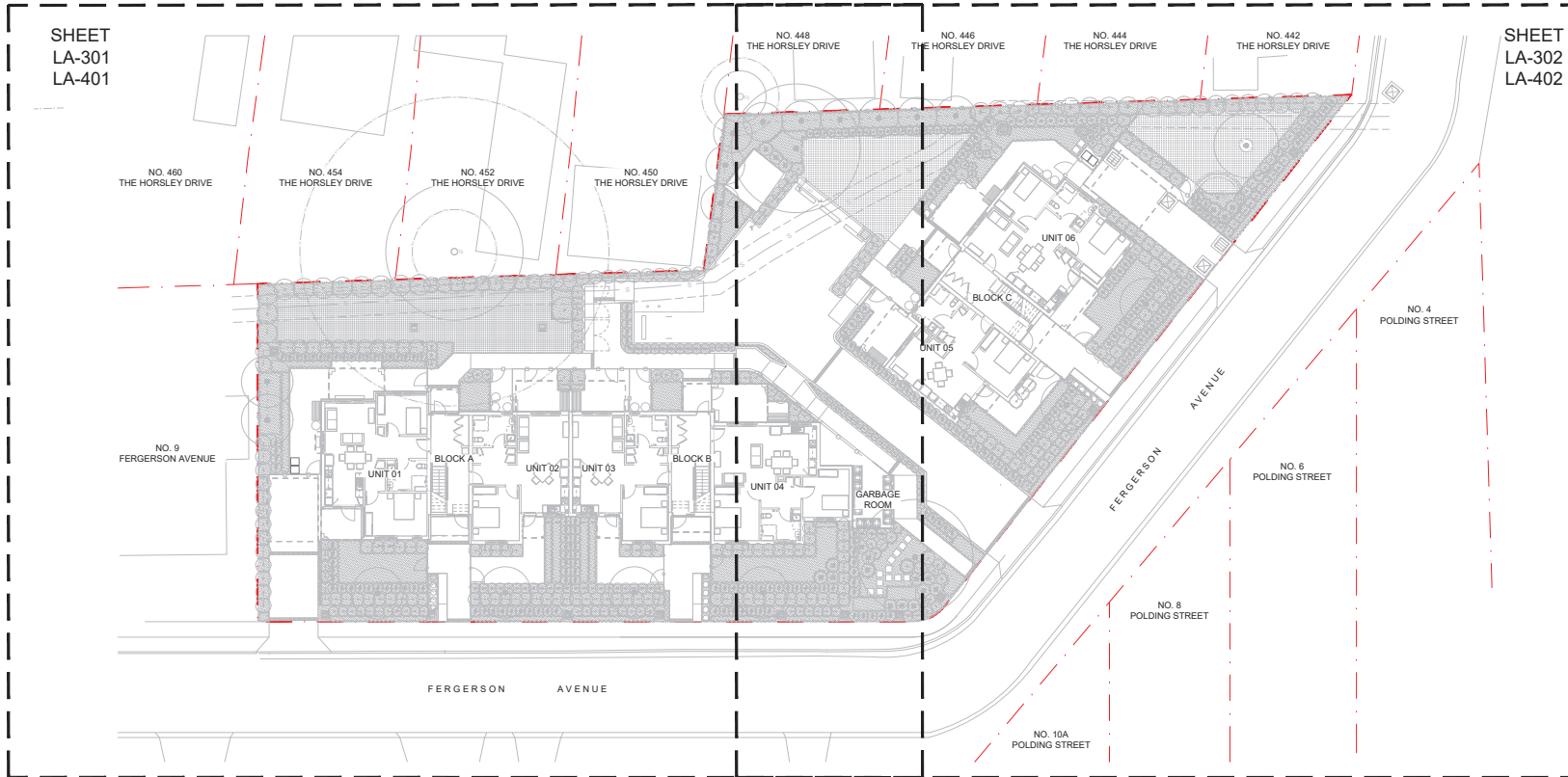
TITLE:
AXONOMETRIC VIEWS - HEIGHT
PLANE
FILE:
2280 - 02 SD ELEVATIONS MASTER.vrx

STATUS: PART 5 APPLICATION			
SCALE:	1:100 @A1	FIG:	BGWVA
PROJECT NO:	2280		
DATE:	DA	SE	AN
TYPE:	AR	SHEET:	DA-502
REV:	A		

1-7 Fergerson Ave, Fairfield 2165

SENIOR HOUSING DEVELOPMENT - LAHC 2021 / 16

LANDSCAPE DOCUMENTATION SET FOR PART 5 SUBMISSION



DRAWING LIST

LA - 100	COVER SHEET	LA - 401	PLANTING PLAN - SHEET 1
LA - 101	LEGEND, GENERAL NOTE AND PLANTING SCHEDULE	LA - 402	PLANTING PLAN - SHEET 2
LA - 200	EXISTING TREES PLAN	LA - 600	TYPICAL DETAILS
LA - 301	GENERAL ARRANGEMENT PLAN - SHEET 1	LA - 700	SPECIFICATION NOTES
LA - 302	GENERAL ARRANGEMENT PLAN - SHEET 2		

NOTE

- Copyright of Studio IZ Pty Ltd.
Figured dimensions shall be taken in preference to scaling.
The contractor shall check all dimensions on site before commencing work.
- Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing work.
 - Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.
 - All existing trees shown as related to be protected as per arborist report and landscape specification. Refer to architect's drawings for final internal footprint, FFI, of the proposed building.
 - Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drain and pits, proposed crossfall and driveway levels.
 - Locate and protect all underground services prior to any excavation.
 - The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd (Katie Gong AILA #12547).

REV	DATE	DESCRIPTION
C	07.03.2024	Issue For Part 5 Submission
B	06.03.2024	Issue For Part 5 Submission
A	31.10.2023	Issue For Part 5 Submission

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT
**SENIOR HOUSING
DEVELOPMENT - FAIRFIELD**
1-7 FERGERSON AVE, FAIRFIELD
NSW 2165

ARCHITECT
**KENNEDY ASSOCIATES
ARCHITECTS**

PROJECT CONTACT

STUDIO IZ

STUDIO IZ PTY LTD ABN: 20 611 333 921
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower B, Clarendon Towers, 730 Pacific Hwy,
Cherrybrook NSW 2067

APPROVED	DRAWN
KG	RL
DATE CREATED	PROJECT NO.
AUGUST 2021	LA210730

DRAWING TITLE

Cover Sheet

SCALE	NORTH POINT
A1	
1:200	
DRAWING NO.	ISSUE
LA - 100	C

LEGEND

GENERAL		PROPOSED HARDWORKS	
SYMBOL	NAME & DESCRIPTION	SYMBOL	NAME & DESCRIPTION
	SITE BOUNDARY		PROPOSED PAVING - TYPE 1 UNIT PAVING
	EXISTING LEVEL / CONTOURS REFER TO SURVEY		PROPOSED PAVING - TYPE 2 PEDESTRIAN GRADE CONCRETE FOOTPATH
	PROPOSED SPOT LEVELS		PROPOSED PAVING - TYPE 3 VEHICULAR GRADE CONCRETE DRIVEWAY WITH BROOM FINISH
	PROPOSED TOP OF WALL LEVELS		PROPOSED STEPPING STONES - TYPE 1 CONCRETE STEPPER OR SIMILAR
	PROPOSED TOP OF KERB LEVELS		PROPOSED STEPPING STONES - TYPE 2 CONCRETE STEPPER OR SIMILAR
	ARCHITECTURAL FINISH LEVELS		PROPOSED GARDEN EDGING AS DETAILED AND SPECIFIED
	UNDERGROUND SEWER LINE REFER TO STORMWATER ENGINEER'S DRAWINGS		PROPOSED MAIL BOX REFER TO ARCHITECT'S DETAILS
	INDICATIVE LINE OF ROOF ABOVE REFER TO ARCHITECT'S DRAWINGS		PROPOSED WATER & GAS METERS REFER TO ARCHITECT'S DETAILS
NOTES: REFER TO ARCHITECTURAL DRAWINGS FOR ALL EXTERNAL DESIGN LEVELS, INCLUDING KERBS, PATH, RAMPS, DRIVEWAYS, ETC.			PROPOSED SEATING
PROPOSED SOFTWARES			PROPOSED CLOTHES LINES TO ARCHITECT'S DETAILS
	PROPOSED PIT REFER TO STORMWATER ENGINEER'S DRAWING		PROPOSED PIT REFER TO STORMWATER ENGINEER'S DRAWING
SYMBOL	NAME & DESCRIPTION	PROPOSED FENCE	
	EXISTING TREES TO BE RETAINED AND PROTECTED TPZ / SRZ REFER TO ARBORIST'S REPORT		1.2M HIGH HORIZONTAL ALUMINIUM SLAT FENCE - CLOSELY SPACED FOR PRIVACY
	EXISTING TREES TO BE REMOVED REFER TO ARBORIST REPORT		1.5M HIGH VERTICAL ALUMINIUM SLAT FENCE - CLOSELY SPACED FOR PRIVACY
	PROPOSED TREES REFER TO PLANTING PLAN AND PLANT SCHEDULE		1.8M HIGH COLOURBOND BOUNDARY FENCE
	PROPOSED SHRUBS REFER TO PLANTING PLAN AND PLANT SCHEDULE		1.8M HIGH HORIZONTAL ALUMINIUM SLAT FENCE - CLOSELY SPACED FOR PRIVACY
	PROPOSED GROUNDCOVER REFER TO PLANTING PLAN AND PLANT SCHEDULE		
	PROPOSED TURF AS DETAILED AND SPECIFIED		
	PROPOSED GARDEN BED AS DETAILED AND SPECIFIED		

PLANTING SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT	SPREAD	SPACING	INDIGENOUS TO FAIRFIELD	NATIVE*	QTY
TREES									
Br-ac	<i>Brachychiton acerifolius</i>	Illawarra Flame Tree	45lt	12m	5m	As Shown	Y		1
El-re	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	45lt	8-12m	3-5m	As Shown	Y		17
Eu-le	<i>Eucalyptus tereticornis</i>	Forest Red Gum	75lt	15-35m	6-12m	As Shown	Y		1
Ja-mi	<i>Jacaranda mimosifolia</i>	Jacaranda	100lt	10-15m	10m	As Shown			1
SHRUBS									
Bo-fl	<i>Boronia floribunda</i>	Pale Pink Boronia	300mm	1m	1m	0.7m centres		Y	63
Ca-en	<i>Callistemon citrinus</i> 'Endeavour'	Bottlebrush	300mm	2-3m	2-3m	1m centres			47
Ca-gr	<i>Callistemon viminalis</i> 'Green John'	Green John Bottlebrush	300mm	0.6-1m	0.6m	0.5m centres		Y	29
Ce-gu	<i>Ceratopetalum gummiferum</i>	NSW Christmas Bush	300mm	6m	2m	As Shown		Y	1
Co-al	<i>Correa alba</i>	White Correa	300mm	1.5m	1m	0.7m centres	Y		49
Do-vi	<i>Dodonaea viscosa</i>	Hop Bush	300mm	2m	1.5m	1m centres	Y		118
Do-ex	<i>Doryanthes excelsa</i>	Gymea Lily	300mm	0.9-1.2m	0.6-0.9m	1m centres	Y		21
Gr-ro	<i>Grevillea rosmarinifolia</i>	Rosemary Grevillea	300mm	2.5m	1m	As Shown		Y	72
Ku-am	<i>Kunzea ambigua</i>	Tick Bush	300mm	2.5m	2.5m	1.2m centres	Y		22
Ph-nu	<i>Photinia glabra</i> 'Rubens'	Rubens Photinia	300mm	1.5-2.5m	Trim to 1.5m	1m centres			30
Sy-re	<i>Syzygium australe</i> 'Resilience'	Lilly Pilly	300mm	4-5m	2-3m	1m centres		Y	36
We-fr	<i>Westringia fruticosa</i>	Coastal Rosemary	300mm	2m	1-1.5m	0.8m centres		Y	67
We-au	<i>Westringia fruticosa</i> 'Aussie Box'	Westringia Aussie Box	200mm	0.7-0.95m	0.7-0.95m	0.6m centres		Y	112
GROUNDCOVERS & GRASSES									
An-bu	<i>Anigozanthos</i> 'Bush Pearl'	Kangaroo Paw	200mm	0.6-0.8m	0.5-0.7m	5/m2		Y	15
Di-je	<i>Dianella caerulea</i> 'Little Jess'	Dianella Little Jess	150mm	0.4m	0.4m	8/m2		Y	265
Di-li	<i>Dianella revoluta</i> 'Little Rev'	Little Rev Dianella	200mm	0.4m	0.4m	8/m2		Y	145
Di-re	<i>Dichondra repens</i>	Kidney Weed	tube	0.2m	1.5m	3/m2		Y	48
Ha-ha	<i>Hardenbergia</i> 'Happy Wanderer'	Hardenbergia	140mm	0.4m	2m	0.5m centres	Y		5
Lo-li	<i>Lomandra Line Turf</i>	Lomandra Line Turf	140mm	0.4m	0.4m	5/m2		Y	530
Th-au	<i>Thymus australis</i>	Kangaroo Grass	140mm	0.8m	0.3m	8/m2	Y		40
Vi-he	<i>Viola hederacea</i>	Native Violet	tube	0.1-0.2m	1m	3/m2	Y		173

*Native - Australian native plants suitable to Fairfield LGA refer to Fairfield Citywide DCP Appendix F

GENERAL NOTES

- ALL LEVELS SHOWN ON DRAWING, INCLUDING EXISTING LEVELS, BUILDING, AND FFLS ARE BASED ON DA PLAN AND ORIGINAL SURVEY, AND ARE INDICATIVE ONLY. CONTRACTOR TO CHECK AND CONFIRM ALL EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS. REPORT ANY DISCREPANCIES OF LEVELS TO SUPERINTENDENT FOR CLARIFICATION.
- REFER TO CIVIL ENGINEER'S DRAWINGS FOR ALL PROPOSED ROAD LAYOUT, KERB / GUTTER, RETAINING WALL LOCATION & HEIGHT, DRAINAGE, CROSSFALL, AND PITS DETAILS.
- REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR ALL STRUCTURAL DESIGN AND DETAILS.
- THIS DOCUMENTATION SET SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS INCLUDING CIVIL / ARCHITECTURAL / STRUCTURAL / SURVEY ETC.
- LOCATE AND PROTECT ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION.
- ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY TO THE SUPERINTENDENT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS.
- DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS HAVE PREFERENCE OVER SCALED DIMENSIONS.
- ALL EXISTING TREES SHOWN AS TO BE RETAINED ARE TO BE RETAINED AND PROTECTED AS PER AS 4970-2009.
- THIS LANDSCAPE DOCUMENTATION SET IS PRODUCED FOR PART 5 / DA PURPOSE ONLY. IT SHALL NOT BE USED SOLELY AS FOR TENDER OR FOR CONSTRUCTION DRAWINGS.

IRRIGATION
TREES AND PLANTING BEDS IN FEATURE LANDSCAPE AREAS ARE TO BE IRRIGATED BY AN AUTOMATICALLY CONTROLLED DRIP IRRIGATION SYSTEM, OR APPROVED SIMILAR. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO SUIT THE FOLLOWING:
• THE WATER REQUIREMENTS OF PLANT TYPES
• THE INFILTRATION RATE OF THE SOIL AS WELL AS SEASONS, EXPOSURE, TOPOGRAPHY AND ANY LOCAL AUTHORITY RESTRICTIONS.
• ADJUSTMENT OR SHUT DOWN DURING AND AFTER PERIODS OF PROLONGED HEAVY RAIN

PLANTING ESTABLISHMENT AND MAINTENANCE PERIOD
THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT THE DATE OF PRACTICAL COMPLETION IS TO BE MAINTAINED FOR THE PLANTING ESTABLISHMENT PERIOD.
LANDSCAPE MAINTENANCE IS TO BE UNDERTAKEN FOR A PERIOD OF 52 WEEKS FROM THE DATE OF PRACTICAL COMPLETION DURING WHICH TIME THE CONTRACT AREAS ARE TO BE MAINTAINED AND ANY DEFECTS, WHICH BECOME APPARENT, ARE TO BE RECTIFIED. WORK IS TO INCLUDE BUT SHALL NOT BE LIMITED TO:
• WEEDING: WEEDS ARE TO BE REMOVED FROM LAWN, GARDEN BED AREAS AND PAVEMENT BY HAND OR ENVIRONMENTALLY ACCEPTABLE CHEMICAL APPLICATION.
• FERTILISING: APPROVED FERTILISER IS TO BE APPLIED IN ACCORDANCE WITH PLANT TYPE AND SEASONAL GROWTH REQUIREMENTS.
• PRUNING: PRUNING WORKS ARE TO BE CARRIED OUT TO ENHANCE PLANT VIGOUR, MAINTAIN DENSE FOLIAGE AND REMOVE SAFETY HAZARDS OR DEAD AND DAMAGED MATERIAL. MAJOR TREE PRUNING OR LOPPING IS TO BE CARRIED OUT BY A SUITABLY QUALIFIED TREE SURGEON/ARBORIST.
• STAKES AND TIES: TREE STAKES AND TIES ARE TO BE ADJUSTED AND REPLACED AS REQUIRED AND REMOVED WHEN THE PLANT HAS ACHIEVED A STABLE CONDITION.
• INSECT AND DISEASE CONTROL: PESTS AND DISEASES THAT MAY AFFECT THE PLANTS ARE TO BE CONTROLLED BY NATURAL OR APPROVED CHEMICAL METHOD.
• MOWING: AS REQUIRED DEPENDING ON SEASONAL CONDITIONS AND TURF HEIGHT.
• PLANT REPLACEMENT: FAILED, DEAD OR DAMAGED PLANTS ARE TO BE REPLACED WITH PLANTS OF THE SAME SPECIES AND SIZE.
• WASTE REMOVAL: NO WASTE IS TO BE LEFT ON SITE. WASTE IS TO BE DISPOSED AT A DESIGNATED WASTE REMOVAL SITE.
• EXISTING PLANTING AND GRASS: EXISTING GRASS AND PLANTING WITHIN THE LANDSCAPE CONTRACT AREA IS TO BE MAINTAINED IN THE SAME WAY AS NEW GRASS OR PLANTING.
• HARDWORKS: LEAVES, MULCH AND ORGANIC DEBRIS ARE TO BE REMOVED FROM PAVEMENT AND DRAINS. ANY DEFECTIVE PAVEMENTS ARE TO BE MADE GOOD.
• IRRIGATION: ALL COMPONENTS ARE TO BE CHECKED FOR PROPER OPERATION. DAMAGED COMPONENTS ARE TO BE REPAIRED OR REPLACED WITH PARTS FROM THE SAME MANUFACTURER. DIRT OR FOREIGN MATTER ARE TO BE FLUSHED FROM THE SYSTEM AND ANY BLOCKAGES CLEARED

TREE PROTECTION NOTES:

- THE TREE PROTECTION ZONE (TPZ) IS A RADIAL DISTANCE MEASURED FROM THE CENTRE OF THE TRUNK OF THE TREE AND CALCULATED IN ACCORDANCE WITH AS 4970-2009 (PROTECTION OF TREES ON DEVELOPMENT SITES).
- THE STRUCTURAL ROOT ZONE (SRZ) PROVIDES THE BULK OF MECHANICAL SUPPORT AND ANCHORAGE FOR A TREE. THIS IS ALSO A RADIAL DISTANCE MEASURED FROM THE CENTRE OF THE TRUNK AND CALCULATED IN ACCORDANCE WITH AS 4970-2009 (PROTECTION OF TREES ON DEVELOPMENT SITES).
- INCURSIONS WITHIN THE SRZ ARE NOT RECOMMENDED AS THEY ARE LIKELY TO RESULT IN THE SEVERANCE OF WOODY ROOTS WHICH MAY COMPROMISE THE STABILITY OF THE TREE OR LEAD TO ITS DECLINE AND DEMISE.
- TREE PROTECTION SHALL BE IN ACCORDANCE WITH AS 4970-2009 (PROTECTION OF TREES ON DEVELOPMENT SITES.)
- TREE PROTECTION FENCE - ALL TREES WITHIN THE SITE TO BE RETAINED SHALL BE PROTECTED PRIOR TO AND DURING CONSTRUCTION FROM ALL ACTIVITIES THAT MAY RESULT IN DETRIMENTAL IMPACT BY ERECTING A SUITABLE PROTECTIVE FENCE BENEATH THE CANOPY TO THE FULL EXTENT OF THE TREE PROTECTION ZONE.
- AS A MINIMUM, THE FENCE SHOULD CONSIST OF TEMPORARY CHAIN WIRE PANELS OF 1.8M IN HEIGHT, SUPPORTED BY STEEL STAKES AS REQUIRED AND FASTENED TOGETHER AND SUPPORTED TO PREVENT SIDEWAYS MOVEMENT USING CORNER BRACES WHERE REQUIRED. THE FENCE SHALL BE ERECTED PRIOR TO THE COMMENCEMENT OF ANY WORK ON-SITE AND SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF CONSTRUCTION, WHERE TREE PROTECTION ZONES MERGE TOGETHER A SINGLE FENCE ENCOMPASSING THE AREA IS DEEMED TO BE ADEQUATE. EXISTING BOUNDARY FENCES MAY FORM PART OF THE ENCLOSURE.
- TREE PROTECTION SIGNS - SIGNS SHALL BE INSTALLED ON THE TREE PROTECTION FENCE TO PREVENT UNAUTHORISED MOVEMENT OF PLANT AND EQUIPMENT OR ENTRY TO THE TREE PROTECTION ZONE. THE SIGNS SHALL BE SECURELY ATTACHED TO THE FENCE USING CABLE TIES OR EQUIVALENT. SIGNS SHALL BE PLACED AT MINIMUM 10 METRE INTERVALS. THE WORKING AND LAYOUT OF THE SIGN SHALL COMPLY WITH AS 4970-2009.
- TRUNK PROTECTION - WHERE PROVISION OF TREE PROTECTION FENCING IS IMPRACTICAL DUE TO ITS PROXIMITY TO THE PROPOSED BUILDING FOOTPRINT, TRUNK PROTECTION SHALL BE ERECTED AROUND NOMINATED TREES TO AVOID ACCIDENTAL DAMAGE. THE TRUNK PROTECTION SHALL CONSIST OF A LAYER OF CARPET UNDERFELT (OR SIMILAR) WRAPPED AROUND THE TRUNK, FOLLOWED BY 1.8M LENGTHS OF SOFTWOOD TIMBERS (90x45mm IN SECTION) ALIGNED VERTICALLY WITH 2mm GALVANISED WIRE OR GALVANISED HOOP STRAP. RECYCLED TIMBER (SUCH AS DENIM) IS NOT SUITABLE FOR THIS PURPOSE. SUBJECT TO THE APPROVAL OF THE PROJECT ARBORIST, THE TIMBER SHALL BE WRAPPED AROUND THE TRUNK (OVER THE CARPET UNDERFELT), BUT NOT FIXED TO THE TREE TO AVOID MECHANICAL INJURY OR DAMAGE TO THE TRUNK. TRUNK PROTECTION SHOULD BE INSTALLED PRIOR TO ANY SITE WORKS AND MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION PERIOD. CARPET UNDERFELT (ALONE) IS SUFFICIENT FOR TREES WITH A TRUNK DIAMETER OF LESS THAN 200mm.
- DEMOLITION AND EXCAVATION WITHIN THE TREE PROTECTION ZONES OF TREES TO BE RETAINED SHALL BE UNDERTAKEN UNDER THE SUPERVISION OF THE SITE ARBORIST.
- TREE DAMAGE - CARE SHALL BE TAKEN WHEN OPERATING CRANES, DRILLING RIGS AND SIMILAR EQUIPMENT NEAR TREES TO AVOID DAMAGE TO TREE CANOPIES (FOLIAGE AND BRANCHES). UNDER NO CIRCUMSTANCES SHALL BRANCHES BE TORN-OFF BY CONSTRUCTION EQUIPMENT, WHERE THERE IS POTENTIAL CONFLICT BETWEEN TREE CANOPY AND CONSTRUCTION ACTIVITIES, THE ADVICE OF THE SITE ARBORIST MUST BE SOUGHT.
- IN THE EVENT OF ANY TREE BECOMING DAMAGED FOR ANY REASON DURING THE CONSTRUCTION PERIOD, A CONSULTING ARBORIST (AUSTRALIAN QUALIFICATION FRAMEWORK LEVEL 5) SHALL BE ENGAGED TO INSPECT AND PROVIDE ADVICE ON ANY REMEDIAL ACTION TO MINIMISE ANY ADVERSE IMPACT. SUCH REMEDIAL ACTION SHALL BE IMPLEMENTED AS SOON AS PRACTICABLE AND CERTIFIED BY THE ARBORIST.

NOTE

Copyright of Studio IZ Pty Ltd. Figured dimensions shall be taken in preference to scaling. The contractor shall check all dimensions on site before commencing work.

1. Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing works.

2. Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.

3. All existing trees shown as retained to be protected as per arborist report and landscape specification. Refer to architect's drawings for final internal footprint, FFI, of the proposed building.

4. Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drain and pits, proposed crossfall and driveway levels.

5. Locate and protect all underground services prior to any excavation.

7. The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Suite 100/101, 750 Pacific Hwy, Chateauwood NSW 2067

C 07.03.2024 Issue For Part 5 Submission

B 06.03.2024 Issue For Part 5 Submission

A 31.10.2023 Issue For Part 5 Submission

REV DATE DESCRIPTION

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT

SENIOR HOUSING DEVELOPMENT - FAIRFIELD

1-7 FERGERSON AVE, FAIRFIELD NSW 2165

ARCHITECT

KENNEDY ASSOCIATES ARCHITECTS

PROJECT CONTACT

STUDIO IZ

STUDIO IZ PTY LTD ABN: 20 611 333 921 TEL: +61 (0) 8004 6946 EMAIL: info@studioiz.com.au Suite 403, Level 4, Tower B, Chateau Towers, 750 Pacific Hwy, Chateauwood NSW 2067

APPROVED KG DRAWN RL

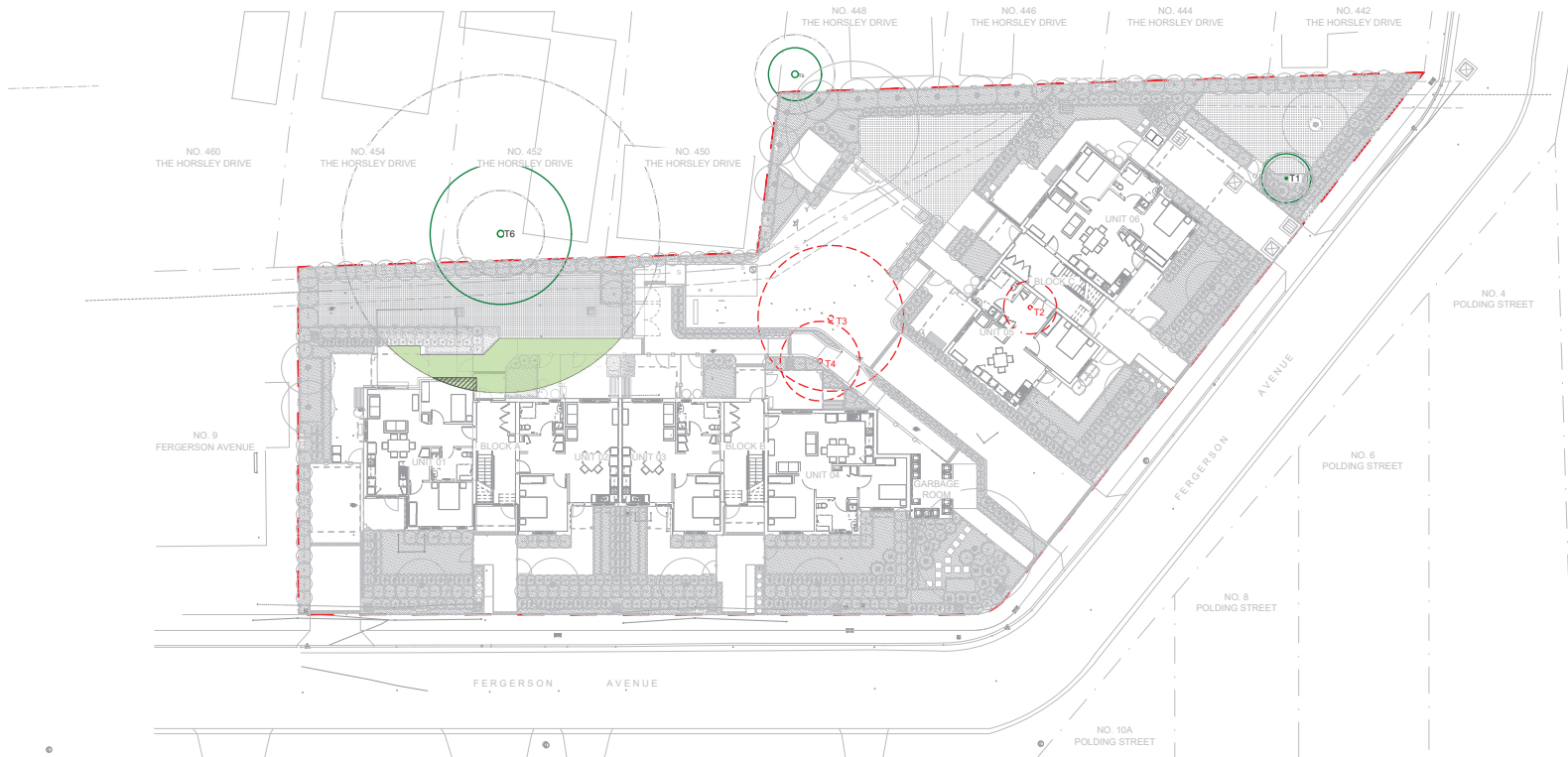
DATE CREATED AUGUST 2021 PROJECT NO. LA210730

DRAWING TITLE

Legend, General Note and Planting Schedule

SCALE 1:1 NTS NORTH POINT

DRAWING NO. LA - 101 ISSUE C



EXISTING TREE SCHEDULE

ID	BOTANICAL NAME	COMMON NAME	TPZ (R)	SRZ (R)	SIGNIFICANCE	COMMENT
TREES TO BE RETAINED						
T1	<i>Grevillea robusta</i>	Silky Oak	2m	1.6m	Medium	To be retained
T5	<i>Cinnamomum camphora</i>	Camphor Laurel	-	-	Low	In neighbouring property
T6	<i>Melaleuca decora</i>	White Feather Honeymyrtle	-	-	Medium	In neighbouring property
TREES TO BE REMOVED						
T2	<i>Lagerstroemia indica</i> x 2	Crepe Myrtle	3.5m	1.9m	Low	To be removed
T3	<i>Jacaranda mimosifolia</i>	Jacaranda	5m	2.3m	Medium	To be removed
T4	<i>Lagerstroemia indica</i>	Crepe Myrtle	3.5m	2.0m	Medium	To be removed

NOTE:

Tree heights and TPZ refer to Arboricultural impact assessment prepared by Red Gum Horticultural Arboriculture & Horticulture Consultants dated 15 June 2020. Allow to demolish all tree roots for trees to be demolished and dispose properly off site

LEGEND

	TPZ INTRUSION UP TO FENCE LINE
	T6: 5.9%
	TPZ INTRUSION UP TO BUILDING LINE
	T6: 0.5%

NOTE

- Copyright of Studio IZ Pty Ltd.
Figured dimensions shall be taken in preference to scaling.
The contractor shall check all dimensions on site before commencing work.
- Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing work.
 - Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.
 - All existing trees shown as related to be protected as per arborist report and landscape specification. Refer to architect's drawings for final internal footprint, FFI, of the proposed building.
 - Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drain and pits, proposed crossfall and driveway levels.
 - Locate and protect all underground services prior to any excavation.
 - The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Kate Gong ALA #12347

REV	DATE	DESCRIPTION
C	07.03.2024	Issue For Part 5 Submission
B	06.03.2024	Issue For Part 5 Submission
A	31.10.2023	Issue For Part 5 Submission

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT

**SENIOR HOUSING
DEVELOPMENT - FAIRFIELD**
1-7 FERGUSON AVE, FAIRFIELD
NSW 2165

ARCHITECT

**KENNEDY ASSOCIATES
ARCHITECTS**

PROJECT CONTACT

STUDIO IZ

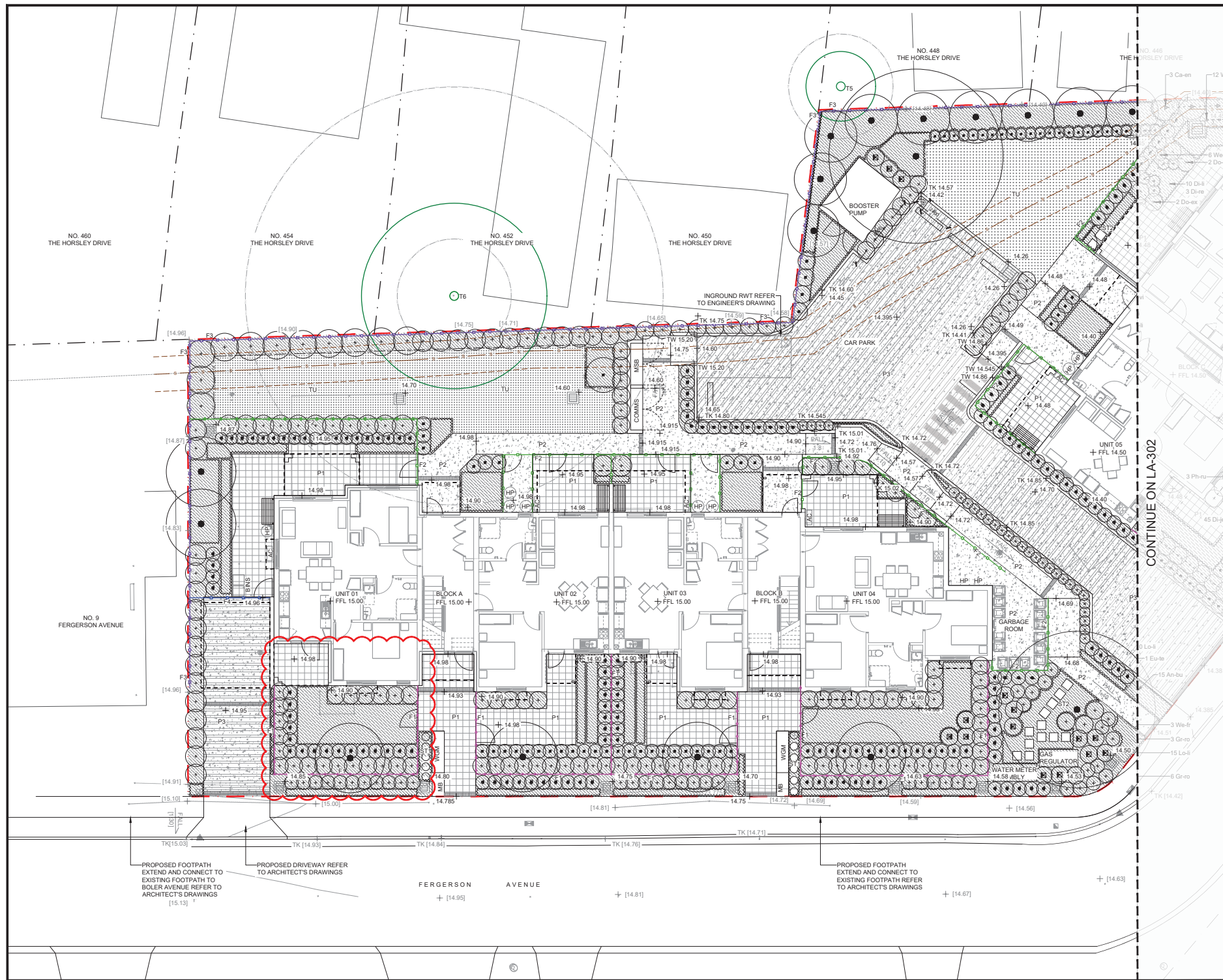
STUDIO IZ PTY LTD ABN: 20 611 333 921
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower B, Clarendon Towers, 750 Pacific Hwy,
Cherrybrook NSW 2067

APPROVED	DRAWN
KG	RL
DATE CREATED	PROJECT NO.
AUGUST 2021	LA210730

DRAWING TITLE

Existing Trees Plan

SCALE	NORTH POINT
A1 1:200	
DRAWING NO.	ISSUE
LA - 200	C



NOTE

Copyright of Studio IZ Pty Ltd.
Figured dimensions shall be taken in preference to scaling.
The contractor shall check all dimensions on site before commencing work.

- Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing work.
- Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.
- All existing trees shown as related to be protected as per arborist report and landscape specification. Refer to architect's drawings for final internal footprint, FFI, of the proposed building.
- Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drain and pits, proposed crossfall and driveway levels.
- Locate and protect all underground services prior to any excavation.
- The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Suite 100/101A #12/247

REV	DATE	DESCRIPTION
C	07.03.2024	Issue For Part 5 Submission
B	06.03.2024	Issue For Part 5 Submission
A	31.10.2023	Issue For Part 5 Submission

**PRELIMINARY
NOT FOR CONSTRUCTION**

PROJECT

**SENIOR HOUSING
DEVELOPMENT - FAIRFIELD**

1-7 FERGUSON AVE, FAIRFIELD
NSW 2165

ARCHITECT

**KENNEDY ASSOCIATES
ARCHITECTS**

PROJECT CONTACT

STUDIO IZ

STUDIO IZ PTY LTD ABN: 20 611 333 921
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower 2, Clarinda Towers, 750 Pacific Hwy,
Cherrybrook NSW 2067

APPROVED	DRAWN
KG	RL

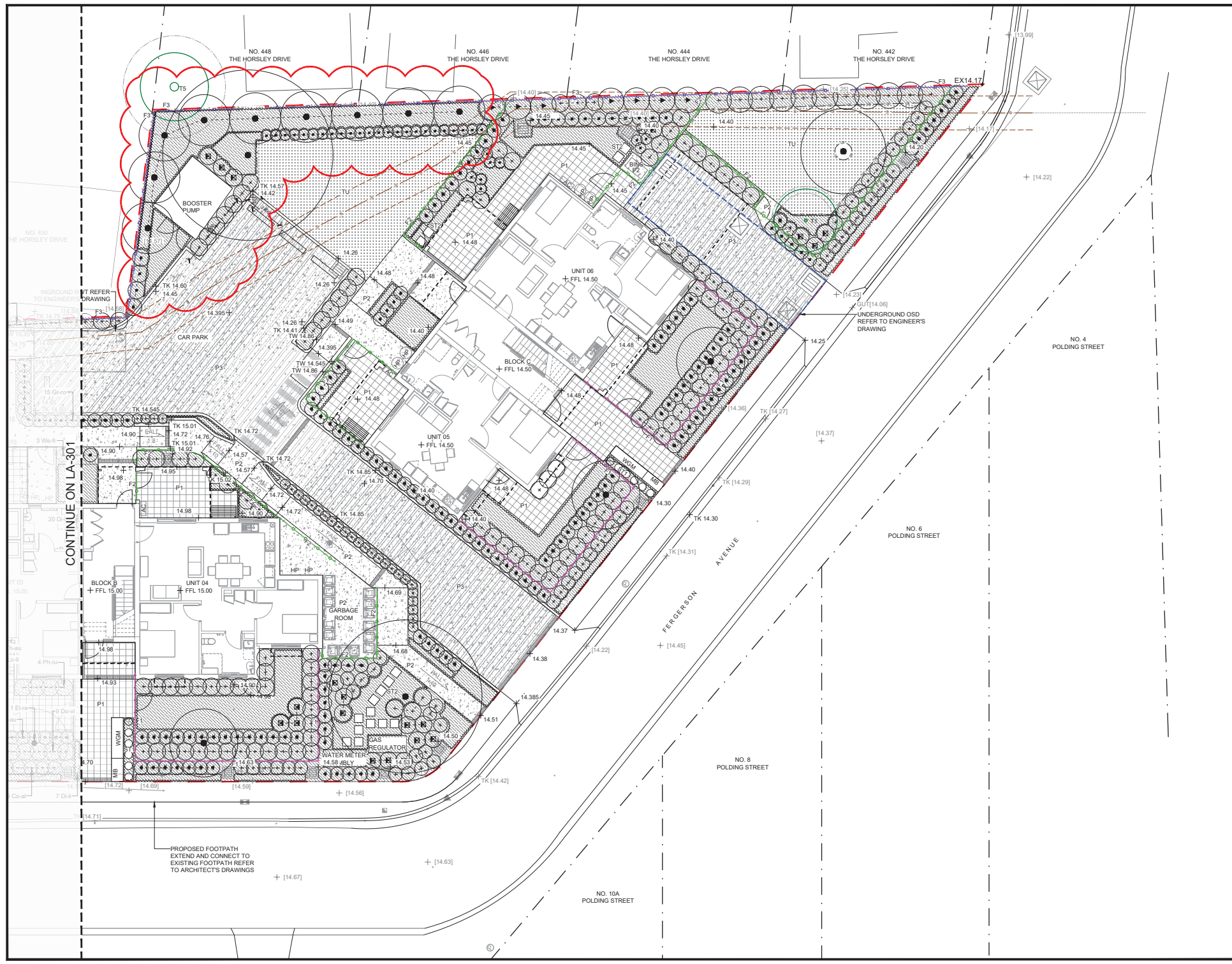
DATE CREATED	PROJECT NO.
AUGUST 2021	LA210730

DRAWING TITLE

**General Arrangement Plan
- Sheet 1**

SCALE	NORTH POINT
A1 1:100	

DRAWING NO.	ISSUE
LA - 301	C



NOTE

Copyright of Studio IZ Pty Ltd.
Figured dimensions shall be taken in preference to scaling.
The contractor shall check all dimensions on site before commencing work.

- Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing work.
- Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.
- All existing trees shown as retained to be protected as per arborist report and landscape specification. Refer to architect's drawings for final internal footprint, FFI, of the proposed building.
- Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drains and pits, proposed crossfall and driveway levels.
- Locate and protect all underground services prior to any excavation.
- The drawing has been prepared by qualified landscape architect as Studio IZ Pty Ltd (Licence No. LA147247).

REV	DATE	DESCRIPTION
C	07.03.2024	Issue For Part 5 Submission
B	06.03.2024	Issue For Part 5 Submission
A	31.10.2023	Issue For Part 5 Submission

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT

SENIOR HOUSING
DEVELOPMENT - FAIRFIELD

1-7 FERGERSON AVE, FAIRFIELD
NSW 2165

ARCHITECT

KENNEDY ASSOCIATES
ARCHITECTS

PROJECT CONTACT

STUDIO IZ

STUDIO IZ PTY LTD ABN: 20 611 333 921
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower B, Casford Towers, 750 Pacific Hwy,
Cherrybrook NSW 2067

APPROVED	DRAWN
KG	RL

DATE CREATED	PROJECT NO.
AUGUST 2021	LA210730

DRAWING TITLE

**General Arrangement Plan
- Sheet 2**

SCALE	NORTH POINT
A1 1:100	

DRAWING NO.	ISSUE
LA - 302	C

[illegible]

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT CONTACT

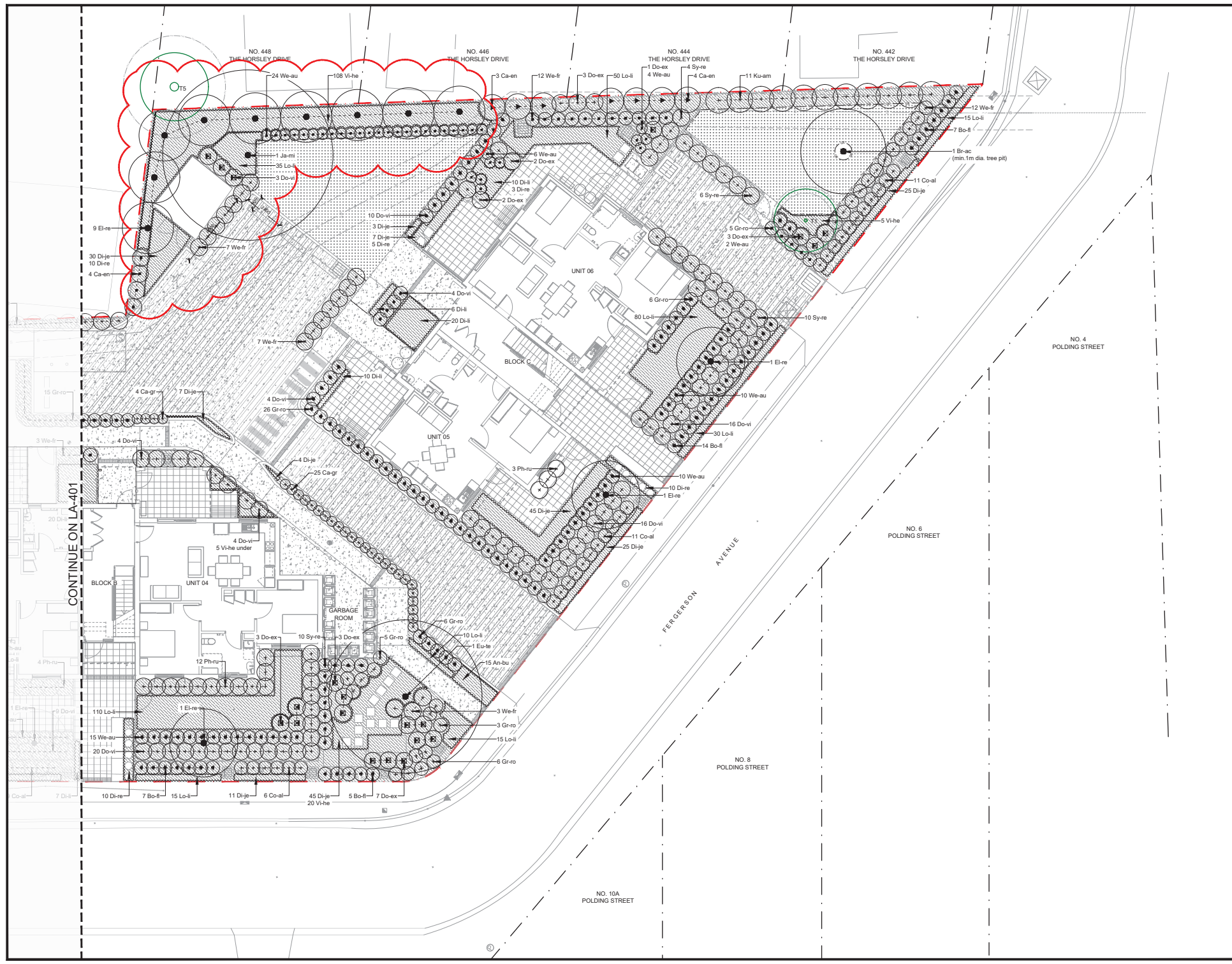
STUDIO IZ

STUDIO IZ PTY LTD ABN: 20 611 333 521
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower B, Citadel Towers, 799 Pacific Hwy,
Chattwood NSW 2067

DRAWING TITLE

Planting Plan - Sheet 1

DRAWING NO.	ISSUE
LA - 401	C



NOTE

Copyright of Studio IZ Pty Ltd.
Figured dimensions shall be taken in preference to scaling.
The contractor shall check all dimensions on site before commencing work.

- Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing work.
- Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.
- All existing trees shown as related to be protected as per arborist report and landscape specification. Refer to architect's drawings for final internal footprint, FFI, of the proposed building.
- Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drain and pits, proposed crossfall and driveway levels.
- Locate and protect all underground services prior to any excavation.
- The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Kasey Gung All A #12247

C	07.03.2024	Issue For Part 5 Submission
B	06.03.2024	Issue For Part 5 Submission
A	31.10.2023	Issue For Part 5 Submission
REV	DATE	DESCRIPTION

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT

**SENIOR HOUSING
DEVELOPMENT - FAIRFIELD**

1-7 FERGUSON AVE, FAIRFIELD
NSW 2165

ARCHITECT

**KENNEDY ASSOCIATES
ARCHITECTS**

PROJECT CONTACT

STUDIO IZ

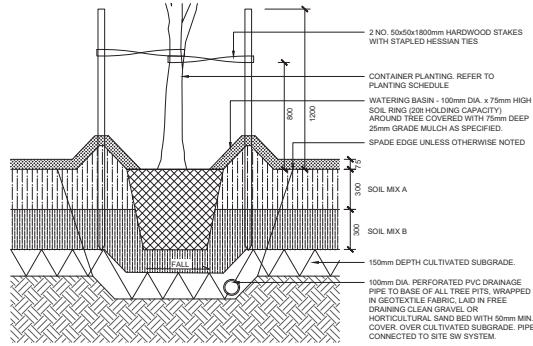
STUDIO IZ PTY LTD ABN: 20 611 333 921
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower B, Caspary Towers, 730 Pacific Hwy,
Cherrybrook NSW 2067

APPROVED	DRAWN
KG	RL
DATE CREATED	PROJECT NO.
AUGUST 2021	LA210730

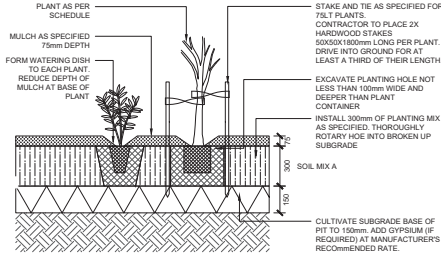
DRAWING TITLE

Planting Plan - Sheet 2

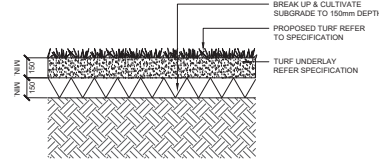
SCALE	NORTH POINT
A1	1:100
DRAWING NO.	ISSUE
LA - 402	C



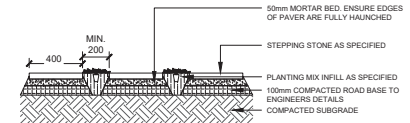
01 TREE PLANTING IN NATURAL GROUND (GB)
TYPICAL DETAIL 1:20



02 MASS PLANTING IN NATURAL GROUND (GB)
TYPICAL DETAIL 1:20



03 TURF (TU)
TYPICAL DETAIL 1:20



04 STEPPING STONES IN GROUNDCOVERS (ST1 & ST2)
TYPICAL DETAIL 1:20

NOTE

- Copyright of Studio IZ Pty Ltd.
Figured dimensions shall be taken in preference to scaling.
The contractor shall check all dimensions on site before commencing work.
- Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing work.
 - Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.
 - All existing trees shown as related to be protected as per arborist report and landscape specification. Refer to architect's drawings for final internal footprint, FFI, of the proposed building.
 - Refer to stormwater engineer's drawings for final location of OSD tanks, rainwater tanks, grate drain and pits, proposed crossfall and driveway levels.
 - Locate and protect all underground services prior to any excavation.
 - The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Suite 403 ALA #12347

REV	DATE	DESCRIPTION
C	07.03.2024	Issue For Part 5 Submission
B	06.03.2024	Issue For Part 5 Submission
A	31.10.2023	Issue For Part 5 Submission

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT
**SENIOR HOUSING
DEVELOPMENT - FAIRFIELD**
1-7 FERGERSON AVE, FAIRFIELD
NSW 2165

ARCHITECT
**KENNEDY ASSOCIATES
ARCHITECTS**

PROJECT CONTACT
STUDIO IZ
STUDIO IZ PTY LTD ABN: 20 611 333 521
TEL: +61 02 8004 6946 EMAIL: info@studioiz.com.au
Suite 403, Level 4, Tower B, Clarend Towers, 750 Pacific Hwy,
Cherrybrook NSW 2067

APPROVED	DRAWN
KG	RL
DATE CREATED	PROJECT NO.
AUGUST 2021	LA210730

DRAWING TITLE Typical Details

SCALE	NORTH POINT
As Shown	
DRAWING NO.	ISSUE
LA - 600	C

<div>NOTE</div> <div><div></div><div>Copyright of Studio IZ Pty Ltd Figured dimensions shall be taken in preference to scaling. The contractor shall check all dimensions on site before commencing work.</div></div>					
<div><div></div><div>1. Do not scale drawings, figured dimensions have preference over scaled dimensions. The contractor shall check all dimensions on site before commencing works.</div><div></div><div>2. Any discrepancies must be reported immediately to the superintendent and project landscape architect for clarification and approval.</div><div></div><div>3. All existing trees shown as retained to be protected as per arborists report and landscape specification.</div><div></div><div>4. Refer to architect's drawings for final internal footprint, FFI, of the proposed building.</div><div></div><div>5. Refer to stormwater engineer's drawings for final location of OSD tanks, sediment tanks, grate drain and pits, proposed crossfall and driveway levels.</div><div></div><div>6. Locate and protect all underground services prior to any excavation.</div><div></div><div>7. The drawing has been prepared by qualified landscape architect at Studio IZ Pty Ltd Suite G-09A Allura #12247</div></div>					
C	07.03.2024	Issue For Part 5 Submission			
B	06.03.2024	Issue For Part 5 Submission			
A	31.10.2023	Issue For Part 5 Submission			
REV	DATE	DESCRIPTION			
<div>PRELIMINARY</div> <div>NOT FOR CONSTRUCTION</div>					
PROJECT					
SENIOR HOUSING DEVELOPMENT - FAIRFIELD					
1-7 FERGERSON AVE., FAIRFIELD NSW 2165					
ARCHITECT					
KENNEDY ASSOCIATES ARCHITECTS					
PROJECT CONTACT					
<div>STUDIO IZ</div> <div>STUDIO IZ PTY LTD ABN: 20 611 333 521 TEL +61 82 8004 6946 EMAIL info@studioiz.com.au Suite G-09, Level A, Tower B, Citadel Towers, 799 Pacific Hwy, Chateauview NSW 2067</div>					
APPROVED		DRAWN			
KG		RL			
DATE CREATED		PROJECT NO.			
AUGUST 2021		LA210730			
DRAWING TITLE					
Specification Notes					
SCALE		NORTH POINT			
A1		<div>NT</div>			
DRAWING NO.		ISSUE			
LA - 700		C			

NSW LAND & HOUSING CORPORATION
LOT 14,15,16 & 17 IN DP 35636
1-7 FERGERSON AVENUE, FAIRFIELD NSW
SENIOR HOUSING DEVELOPMENT



LOCATION PLAN
N.T.S.

[illegible]

PUBLIC UTILITIES:
THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE WITH THE RELEVANT SERVICE AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.

SHEET SIZE
A1

COORDS: MGA94 ZONE 56
DATUM: ALL LEVELS TO A.H.D.
SCALE: N.T.S.
SURVEYED: TTS
SURVEY DATE: 09.06.2020
APPROVED / PROJECT LEAD
MARK RAKER

PUBLIC UTILITIES:

THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE WITH THE RELEVANT SERVICE AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.



tonkin.com.au

© TONKIN CONSULTING

T:\2021\210348 LAHC 1-7 FERGIUSON AVE FAIRFIELD - DEM (AUST) PTY LTD\4 WORKING\1 CAD\01 DWG\210348 001-COV.DWG-001.COV- (07-03-24 11:42:39AM)

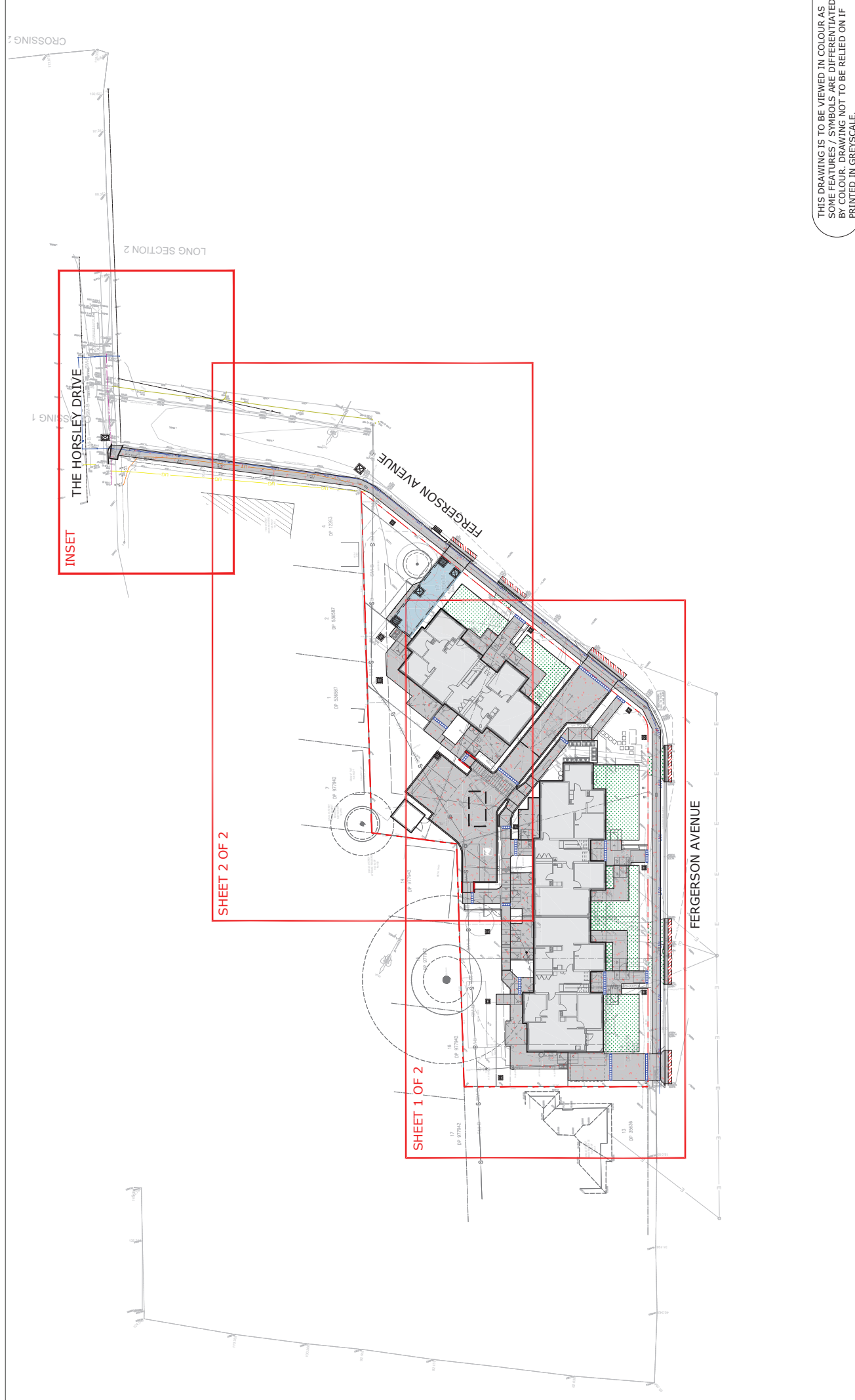
THIS DRAWING IS TO BE VIEWED IN COLOUR AS SOME FEATURES / SYMBOLS ARE DIFFERENTIATED BY COLOUR. DRAWING NOT TO BE RELIED ON IF PRINTED IN GREYSCALE.

NOT FOR CONSTRUCTION

NSW LAND & HOUSING CORPORATION

LOT 14,15,16 & 17 IN DP 35636
1-7 FERGUSON AVENUE, FAIRFIELD NSW 2165
SENIOR HOUSING DEVELOPMENT
LOCATION PLAN & DRAWING SCHEDULE

FILENAME:	PROJECT NUMBER	DRAWING NUMBER	REVISION
210348_001-COV.DWG	210348	001	D



0 2.5 5 10 15
1:250 (A3): 1:500 (A3)
100mm ON ORIGINAL DRAWING - DO NOT SCALE DRAWING

SHEET SIZE
A1

COORDS: MGA94 ZONE 56	DATE: ALL LEVELS TO A.H.D.
SCALE: 1:250	
SURVEYED: TTS	
SURVEY DATE: 09.06.2020	
APPROVED: / PROJECT LEADER	
DATE: 1 DES: DWN, IR	
REASON FOR ISSUE	
AMENDMENT /	
FOR REVIEW	
FOR PART 5 APPROVAL	
FOR PART 5 AND TNSW APPROVAL	
RE-ISSUED FOR PART 5 APPROVAL	
07.03.24	BO IR
01.11.23	TP IR
07.08.23	TP IR
18.10.21	IR

PUBLIC UTILITIES:
THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN THE SERVICES FROM THE RELEVANT AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.

NOT FOR CONSTRUCTION

NSW LAND & HOUSING CORPORATION

LOT 14, 15, 16 & 17 IN DP 35636
1-7 FERGUSON AVENUE, FAIRFIELD NSW 2165
SENIOR HOUSING DEVELOPMENT
GENERAL ARRANGEMENT PLAN

tonkin
tonkin.com.au

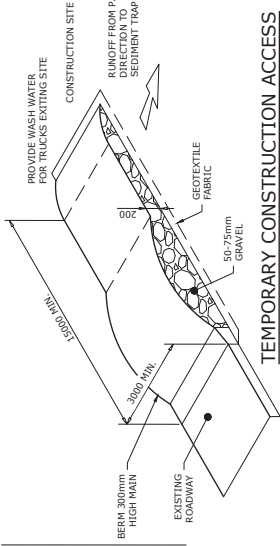
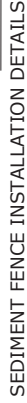
PROJECT NUMBER: 210348_005-GEN.DWG
DRAWING NUMBER: 210348
REVISION: 005
D

FILENAME: T:\2021\210348 LAHC 1-7 FERGUSON AVE FAIRFIELD - DEM (AUST) PTY LTD\4. WORKING\1 CAD\01.DWG\210348_005-GEN.DWG - (07-03-24 11:31:38AM)

THIS DRAWING IS TO BE VIEWED IN COLOUR AS SOME FEATURES / SYMBOLS ARE DIFFERENTIATED BY COLOUR. DRAWING NOT TO BE RELIED ON IF PRINTED IN GREYSKALE.

1. CONSTRUCT ALL SEDIMENT CONTROL FENCES ALONG THE CONTOUR WHERE POSSIBLE.
2. WHERE SEDIMENT CONTROL FENCES ARE NOT CONSTRUCTED ALONG THE CONTOUR, CONSTRUCT RETURN PANELS AT REGULAR INTERVALS NOT EXCEEDING 20m.
3. ALL DRA PILETS SHALL INCORPORATE APPROVED SAFETY CANS.
4. THE 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE DRA PILETS SHALL BE FILLED WITH A 150mm DEEP SAND FILL COMPACTED WITH FABRIC SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTECHNICAL MANUFACTURER. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
5. ANCHOR THE GEOTEXTILE IN TRENCH WITH A 150mm SAND FILL USED TO SECURE THE GEOTEXTILE IN TRENCH.

- 1.1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS;
- 1.2. EPA POLLUTION CONTROL MANUAL FOR URBAN STORMWATER, AND
- 1.3. THE DRAINAGE URBAN STORMWATER, SOLES AND CONSTRUCTION (THE BLUE BOOK).
2. EROSION AND SEDIMENT CONTROL DRAWINGS AND NOTES ARE PROVIDED FOR THE DESIGN TO BE MODIFIED AND VARIATION TO THESE DETAILS MAY REQUIRE APPROVAL BY RELEVANT AUTHORITIES. PROVISIONS TO BE MAINTAINED TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
3. ALL VEHICLES SHALL ONLY ENTER AND EXIT THE SITE VIA THE NOMINATED APPROACH.
4. ALL EXISTING VEHICLES SHALL BE CLEARED AND INSPECTED BEFORE EXITING.
5. AN ATTEMPT TO BE MADE TO MINIMISE THE AREA OF SITE BEING DISTURBED AT ANY ONE TIME.
6. DURING CONSTRUCTION OF STORMWATER PITS, PREVENT SITE RUNOFF ENTERING THE PITS UNLESS SILT FENCES ARE ERECTED AROUND PITS.
7. ALL STOCKPILES OF MATERIALS TO BE PROTECTED FROM SCOUR AND EROSION, ROADWAYS AND NEAR IN WATER COURSES.
8. CONTRACTOR TO ENSURE ALL NOMINATED DEVICES TO BE REINSTATELED FOLLOWING COMPLETION OF WORK, MODIFIED AS REQUIRED TO SUIT THE BEST SITE CONDITIONS AT THE TIME.
9. WATER FROM UPTURN OF THE SITE TO BE CONTROLLED SUCH THAT IT DOES NOT MAINTAIN URBAN STORMWATER PIPES AND PITS CLEAR OF DEBRIS AND SEDIMENT.
10. STORMWATER SYSTEM AND ALL DEVICES TO BE INSPECTED AND CLEANED OUT AS REQUIRED AFTER EACH STORM EVENT.
11. CONTRACTOR TO MAINTAIN ACCESS AT ALL TIMES AND OVERTAKEN BY SUITABLY QUALIFIED ENVIRONMENTAL CONSULTANT PRIOR TO ANY DISCHARGE OF SITE STORMWATER, GROUNDWATER AND SEWAGE WATER.
12. MONITORING MEASURES THAT WILL BE OUTLINE PROPOSED AND ONGOING DISCHARGED FROM THE SITE, FREQUENCY, VALIDATION, AND ALL
- 13.1. ALL REMEDIAL MEASURES AS REQUIRED BY ENVIRONMENTAL CONSULTANT TO BE APPLIED BY CONTRACTOR.
- 13.2. ALL REMEDIAL MEASURES AS REQUIRED BY ENVIRONMENTAL CONSULTANT TO BE APPLIED BY CONTRACTOR.
- 13.3. ALL REMEDIAL MEASURES AS REQUIRED BY ENVIRONMENTAL CONSULTANT TO BE APPLIED BY CONTRACTOR.



NOT FOR CONSTRUCTION

tonkin.com.au

A1

[illegible]

CUT AND FILL	Lower_value	Upper_value	Colour
-99	to	-1	metres
-1	to	-0.9	metres
-0.9	to	-0.8	metres
-0.8	to	-0.7	metres
-0.7	to	-0.6	metres
-0.6	to	-0.5	metres
-0.5	to	-0.4	metres
-0.4	to	-0.3	metres
-0.3	to	-0.2	metres
-0.2	to	-0.1	metres
-0.1	to	0	metres
0	to	0.1	metres
0.1	to	0.2	metres
0.2	to	0.3	metres
0.3	to	0.4	metres
0.4	to	0.5	metres
0.5	to	0.6	metres
0.6	to	0.7	metres
0.7	to	0.8	metres
0.8	to	0.9	metres
0.9	to	1	metres
1	to	99	metres



DEPTH AND LOCATION OF EXCAVATION AREAS PRIOR TO ANY EXCAVATION WORKS

NOTES

CUT & FILL VOLUMES:
TOTAL CUT -120.987m³
TOTAL FILL 13.974m³
TOTAL BALANCE -107.013m³

- VOLUMES HAVE BEEN CALCULATED BETWEEN THE EXISTING SURFACE AND THE NOMINAL BULK SURFACE.
- AREAS HAVE BEEN CALCULATED IN PLAN.
- VOLUMES DO NOT TAKE INTO ACCOUNT ANY BULKING OR COMPACTION OF ANY SOILS.
- VOLUMES DOES NOT TAKE INTO ACCOUNT CONSTRUCTABILITY, DETAILS TO BE CONFIRMED AT DETAILED DESIGN STAGE
- CONTRACTOR TO MAKE AN ALLOWANCE AS REQUIRED TO SUIT MATERIAL AND COMPACTION METHODOLOGY.
- LANDSCAPE IS NOT INCLUDED IN BULK EARTH WORK PLAN.

THIS DRAWING IS TO BE VIEWED IN COLOUR AS SOME FEATURES / SYMBOLS ARE DIFFERENTIATED BY COLOUR. DRAWING NOT TO BE RELIED ON IF PRINTED IN GREYSCALE.

NOT FOR CONSTRUCTION



NSW LAND & HOUSING CORPORATION

LOT 14, 15, 16 & 17 IN DP 35636
1-7 FERGUSON AVENUE, FAIRFIELD NSW 2165
SENIOR HOUSING DEVELOPMENT
CUT & FILL PLAN

tonkin.com.au

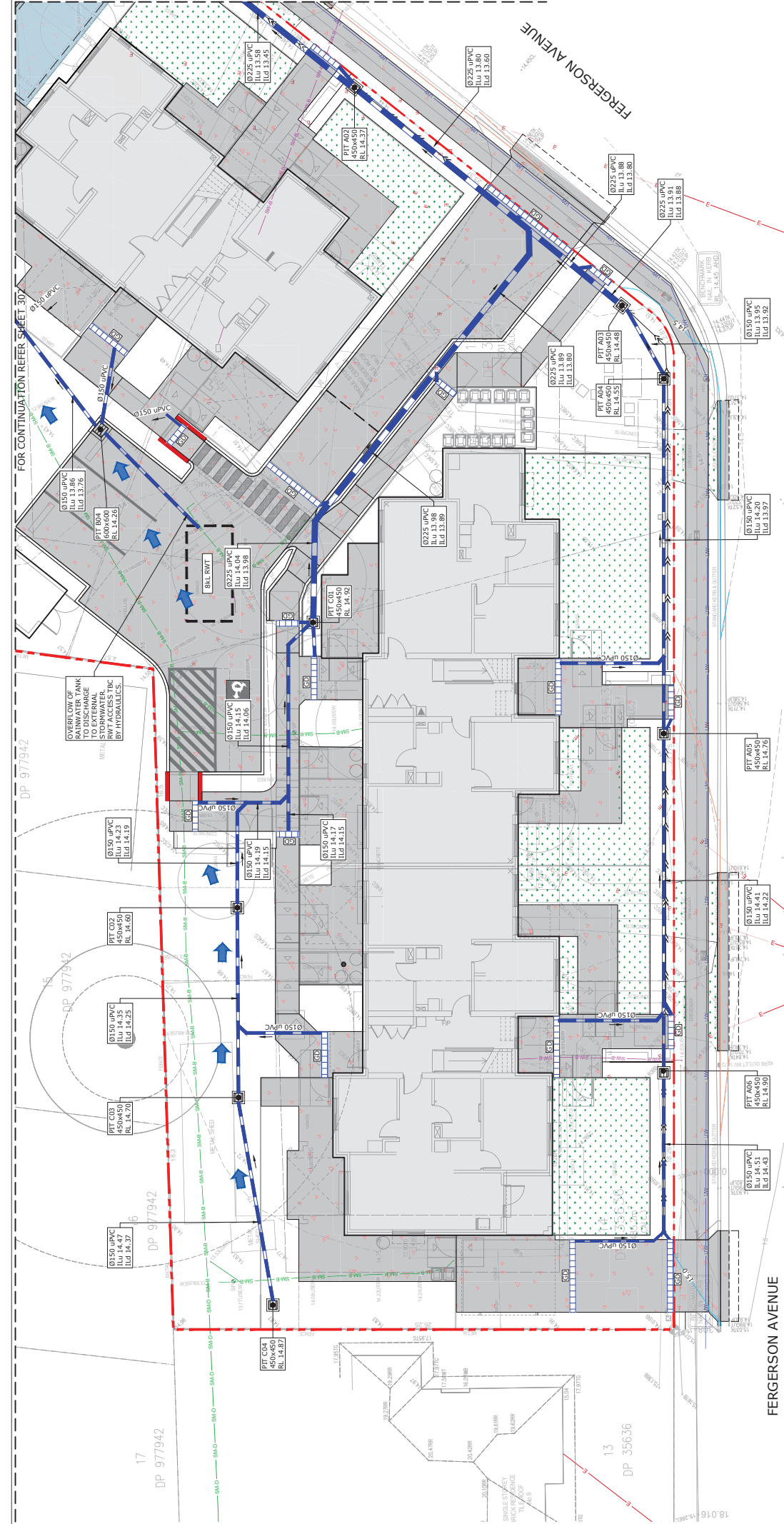
PROJECT NUMBER 210348
DRAWING NUMBER 200
REVISION D

PUBLIC UTILITIES:
THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CLIENT AND THE DESIGNER TO OBTAIN THE RELEVANT SERVICES AND AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.

SHEET SIZE A1

COORDS: MGA94 ZONE 56
DATUM: ALL LEVELS TO A.H.D.
SCALE: 1:150
SURVEYED: TTS
SURVEY DATE: 09.06.2020
APPROVED / PROJECT LEADER: MARK BAKER

REV	AMENDMENT / REASON FOR ISSUE	DATE	DES.	DWN.
D	RE-ISSUED FOR PART 5 AND TNSW APPROVAL	07.03.24	BO	IR
C	ISSUED FOR PART 5 APPROVAL	07.08.23	TP	IR
B	FOR REVIEW	20.10.21	RR	IR
A	FOR REVIEW	18.10.21	RR	IR



LEGEND

- SITE BOUNDARY
- STORMWATER PIPE
- RETAINING WALL
- GRADED DRAIN
- JUNCTION, GRATED & KERB INLET STORMWATER PIT
- RAINWATER OUTLET
- OVERLAND FLOW PATH
- PROPOSED CONCRETE AREA
- PROPOSED TURF
- ABOVE GROUND OSD AREA
- UNDERGROUND MAIN WATER TANK

NOTE:

- PLAN TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEER AND SERVICES ENGINEER PLAN.
- REFER ARCHITECT FOR DEMOLITION PLAN OF EXISTING STORMWATER PITS AND PIPES.
- CONTRACTOR TO CONFIRM LOCATION OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS.
- FINAL INVERT LEVELS TO BE SUBJECT TO DESIGN DEVELOPMENT AND COORDINATION.
- REFER HYDRAULIC ENGINEER PLAN FOR DOWNPIPE LOCATIONS, FLOOR WASTE CONNECTIONS, BALCONY DRAINAGE, ROOF DRAINAGE AND RAINWATER TANK DETAILS AND CALCULATIONS.
- CONTRACTOR TO ENSURE GOOD WORKMANSHIP ON ALL CONNECTIONS.

NOT FOR CONSTRUCTION

NSW LAND & HOUSING CORPORATION

LOT 14.15.16 & 17 IN DP 35636
1-7 FERGERSON AVENUE, FAIRFIELD NSW 2165
SENIOR HOUSING DEVELOPMENT
STORMWATER MANAGEMENT PLAN 1 OF 2

tonkin

tonkin.com.au

PROJECT NUMBER: 210948_301-SWP-DWG
DRAWING NUMBER: 210348
REVISION: 301 G

PUBLIC UTILITIES:

THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE LATEST INFORMATION FROM THE RELEVANT SERVICE AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.

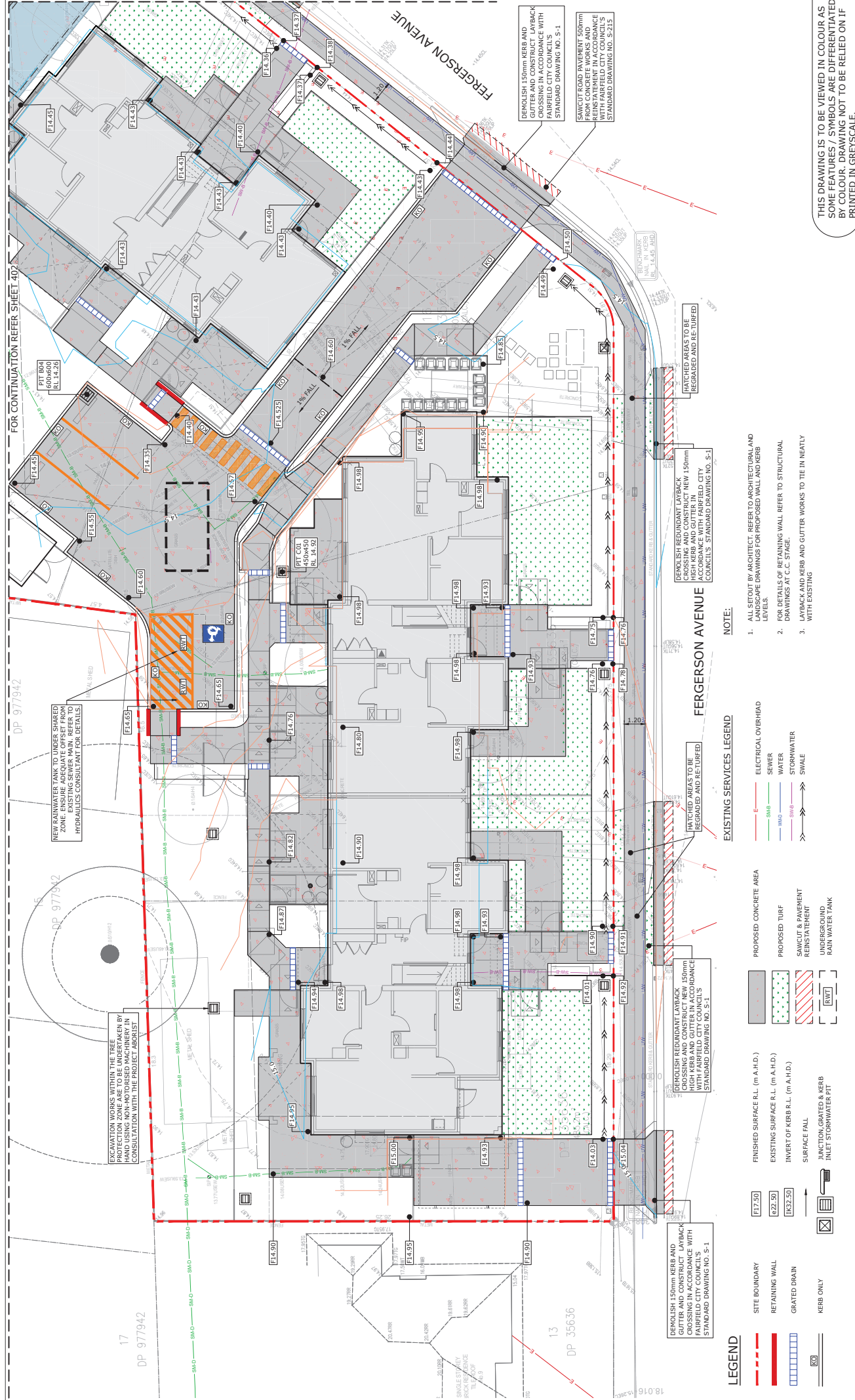
REVISIONS

REV	AMENDMENT / REASON FOR ISSUE	DATE	DES	DWN
A	FOR REVIEW	19.10.21	RR	IR
B	FOR REVIEW (RWD LOCATIONS)	07.08.23	TP	IR
C	ISSUED FOR PART 5 APPROVAL	06.09.23	TP	IR
D	FOR PART 5 APPROVAL	25.11.23	TP	IR
E	ISSUED FOR TNSW APPROVAL	15.01.24	TP	IR
F	ISSUED FOR TNSW APPROVAL	25.11.23	TP	IR
G	RE-ISSUED FOR PART 5 AND TNSW APPROVAL	07.03.24	BO	IR

SHEET SIZE

A1

COORDS: MG94 ZONE 56
DATUM: ALL LEVELS TO A.H.D.
SCALE: 1:100
SURVEYED: TTS
SURVEY DATE: 09.06.2020
APPROVED / PROJECT LEADER:
MARK BAKER



17
DP 977942

13
DP 35636

FOR CONTINUATION REFER SHEET 401

LEGEND

- SITE BOUNDARY
- RETAINING WALL
- GRADED DRAIN
- KERB ONLY
- FINISHED SURFACE R.L. (m A.H.D.)
- EXISTING SURFACE R.L. (m A.H.D.)
- INVERT OF KERB R.L. (m A.H.D.)
- SURFACE FALL
- JUNCTION GRADED & KERB
- INLET STORMWATER PIT

EXISTING SERVICES LEGEND

- ELECTRICAL OVERHEAD
- SEWER
- WATER
- STORMWATER
- SWALE

NOTE:

- ALL SETOUT BY ARCHITECT. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR PROPOSED WALL AND KERB LEVELS.
- FOR DETAILS OF RETAINING WALL REFER TO STRUCTURAL DRAWINGS AT C.C. STAGE.
- LAYBACK AND KERB AND GUTTER WORKS TO TIE IN NEATLY WITH EXISTING

NOT FOR CONSTRUCTION

NSW LAND & HOUSING CORPORATION

LOT 14.15.16 & 17 IN DP 35636
1-7 FERGUSON AVENUE, FAIRFIELD NSW 2165
SENIOR HOUSING DEVELOPMENT
SITWORKS PLAN 1 OF 2

tonkin

tonkin.com.au

FILENAME: 210348_401-STW-DWG

PROJECT NUMBER: 210348

DRAWING NUMBER: 401

REVISION: D

THIS DRAWING IS TO BE VIEWED IN COLOUR AS SOME FEATURES / SYMBOLS ARE DIFFERENTIATED BY COLOUR. DRAWING NOT TO BE RELIED ON IF PRINTED IN GREYSCALE.

PUBLIC UTILITIES:

THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO OBTAIN THE RELEVANT SERVICE AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.

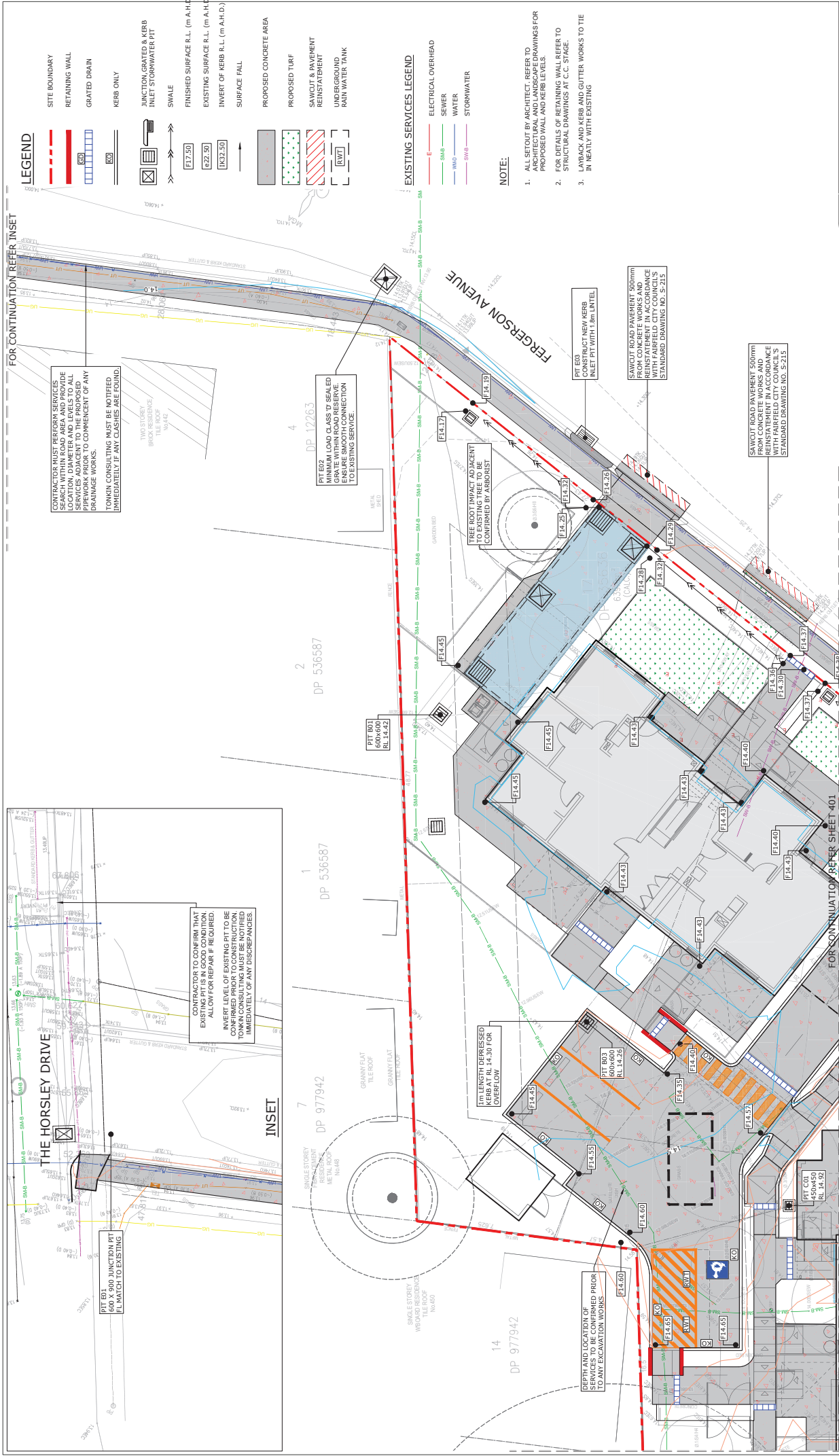
SHEET SIZE: A1

COORDS: MGA94 ZONE 56
DATUM: ALL LEVELS TO A.H.D.
SCALE: 1:100
SURVEYED: TTS
SURVEY DATE: 09.06.2020
APPROVED: / PROJECT LEADER
DATE: 1 DES: DWN, MARK BAKER

REVISION

REV	AMENDMENT / REASON FOR ISSUE	DATE	DES	DWN
A	FOR PART 5 APPROVAL	07.08.23	TP	IR
B	FOR PART 5 APPROVAL	01.11.23	TP	IR
C	ISSUED FOR PART 5 APPROVAL	07.03.24	BO	IR
D	RE-ISSUED FOR PART 5 APPROVAL	07.03.24	BO	IR

© TONKIN CONSULTING



THIS DRAWING IS TO BE VIEWED IN COLOUR AS SOME FEATURES / SYMBOLS ARE DIFFERENTIATED BY COLOUR. DRAWING NOT TO BE RELIED ON IF PRINTED IN GREYSKALE.

NOT FOR CONSTRUCTION

NSW LAND & HOUSING CORPORATION

LOT 14.15.16 & 17 IN DP 35636
1-7 FERGUSON AVENUE, FAIRFIELD NSW 2165
SENIOR HOUSING DEVELOPMENT
SITWORKS PLAN 2 OF 2



tonkin.com.au

PROJECT NUMBER 210348
DRAWING NUMBER 402
REVISION D

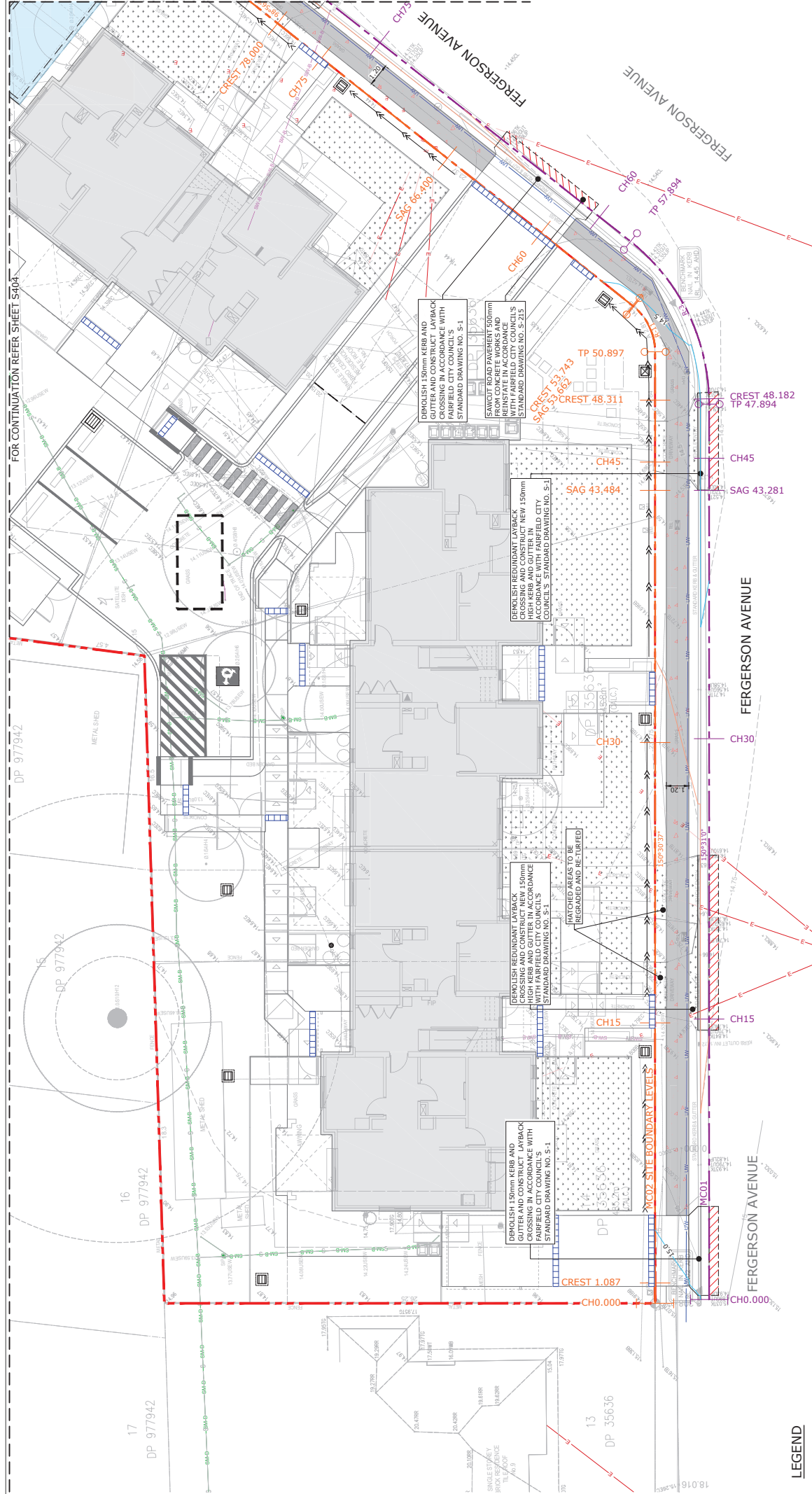
PUBLIC UTILITIES:

THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO OBTAIN CONFIRMATION FROM THE RELEVANT SERVICE AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.

SHEET SIZE
A1



COORDS: MG94 ZONE 56		
DATUM: ALL LEVELS TO A.H.D.		
SCALE: 1:100		
SURVEYED: TTS		
SURVEY DATE: 09.06.2020		
APPROVED / PROJECT LEADER		
DATE	DES	DWN
07.03.24	BO	IR
01.11.23	TP	IR
06.09.23	TP	IR
07.08.23	TP	IR
REV	AMENDMENT	REASON FOR ISSUE



NOTE:

1. ALL SETOUT BY ARCHITECT. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR PROPOSED WALL AND KERB LEVELS.
2. FOR DETAILS OF RETAINING WALL REFER TO STRUCTURAL DRAWINGS AT C.C. STAGE.
3. LAYBACK AND KERB AND GUTTER WORKS TO TIE IN NEATLY WITH EXISTING

EXISTING SERVICES LEGEND

- E — ELECTRICAL OVERHEAD
— SM-B — SEWER
— WMO — WATER
— SW-B — STORMWATER

- PROPOSED CONCRETE AREA
- PROPOSED TURF
- SAWCUT & PAVEMENT REINSTATEMENT
- KERB INLET STORMWATER P...

LEGEND

- | Site Boundary | Control String | Control String Identifier | Control String Chaine |
|---------------|----------------|---------------------------|-----------------------|
| | | MC02 | CH15 |

SHEET SIZE

A1

COORDS: MGA94 ZONE 56

DATUM: ALL LE	
SCALE: 1:100	

SCALE: 1:100
SURVEYED:TTS

	SURVEY DATE:09.06.2020
	APPROVED / PROJECT LEADER

APPROVED / PROJECT LEADER

MARK BAKER

[illegible]

PUBLIC UTILITIES:

THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE WITH THE RELEVANT SERVICE AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.

NOT FOR CONSTRUCTION

NSW LAND & HOUSING CORPORATION

LOT 14,15,16 & 17 IN DP 35636
1-7 FERGUSON AVENUE, FAIRFIELD NSW 2165
SENIOR HOUSING DEVELOPMENT
SITE FRONTAGE WORKS PLAN 1 OF 2

ETI ENAME.	D

FILENAME: 210348_STW.DWG PROJECT NUMBER: 210348 DRAWING NUMBER: S403

1 (AUST) PTY LTD\4 WORKING\1 CAD\01 DWG\210348_S403-STW.DWG -S403-STW- (07-

T:\2021\210348 LAHC 1-7 FERGUSON AVE FAIRFIELD - DEM (AUST) PTY LTD\4 WORKING\1 CAD\01 DWG\210348_S403-STW.DWG -S403-STW- (07-03-24 11:43:18AM



THIS DRAWING IS TO BE VIEWED IN COLOUR AS
SOME FEATURES / SYMBOLS ARE DIFFERENTIATED
BY COLOUR. DRAWING NOT TO BE RELIED ON IF
PRINTED IN GREYSCALE.

NOT FOR CONSTRUCTION

NSW LAND & HOUSING CORPORATION

LOT 14,15,16 & 17 IN DP 35636
1-7 FERGERSON AVENUE, FAIRFIELD NSW 2165

SENIOR HOUSING DEVELOPMENT
SITE FRONTAGE WORKS PLAN 2 OF 2

FILENAME:	PROJECT NUMBER	DRAWING NUMBER	REVISION
210348 S404-STW.DWG	210348	S404	A

T:\2021\210348 LAHC 1-7 FERGUSON AVE FAIRFIELD - DEM (AUST) PTY LTD\4 WORKING\1 CAD\01 DWG\210348 S404-STW.DWG -S404-STW- (07-03-24 11:43:56AM)

PUBLIC UTILITIES:
THE SERVICES SHOWN ARE DERIVED FROM PLANS OBTAINED FROM THE RELEVANT SERVICE AUTHORITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE WITH THE RELEVANT SERVICE AUTHORITIES FOR CONFIRMATION OF SERVICES AND THEIR LOCATION BEFORE EXCAVATION WORK COMMENCES.

SHEET SIZE
A1

COORDS: MGA94 ZONE 56
DATUM: ALL LEVELS TO AHD

SCALE: 1:100

SURVEYED: TTS
SURVEY DATE: 09.06.2020

APPROVED / PROJECT LEADER

FIGURE 1

REV AMENDMENT / REASON FOR ISSUE
© TONKIN CONSULTING

